
Section 7
Old Town Community Zoning District

SECTION 7: OLD TOWN COMMUNITY ZONING DISTRICT

The provisions of the Old Town Community Zoning District shall apply to all lands within the Urban Area Boundary established on Schedule “B” in the Town of Niagara-on-the-Lake’s Official Plan in addition to Fort Mississauga and the lands associated with the Niagara-on-the-Lake golf course, as shown on Schedules ‘A-1’ to ‘A-4’ of this By-law.

7.1 **ESTABLISHED RESIDENTIAL (ER) ZONE** *(entire section as amended by 4316Y-12)*

In the Old Town Community Zoning District - Established Residential (ER) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.1.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *bed and breakfast establishment* in accordance with Section 6.5
- (c) *cottage rental* (added by 4316AI-13, OMB PL130581, December 5, 2013)
- (d) *group home* in accordance with Section 6.20
- (e) *home occupation* or a *home profession* in accordance with Section 6.24
- (f) *public use*
- (g) *single detached dwelling*

7.1.2 Zone Requirements:

(a)	Required lot frontage and lot depth	As existing
(b)	Minimum front yard setback	7.5 m (24.6 ft)
	A detached or attached garage shall be setback from the front lot line a minimum of 1.0 m (3.28 ft) greater than the building face (including a covered porch) of the main building.	
(c)	Minimum rear yard setback	7.5 m (24.6 ft)
(d)	Minimum interior side yard setback	1.22 m (3.94 ft)
(e)	Maximum building height	10.0 m (32.8 ft)
(f)	Minimum rear and interior side yard setback for accessory buildings	1.52 m (5.0 ft)
(g)	Maximum lot coverage	33%
(h)	Minimum landscaped open space	30%
(i)	Minimum exterior side yard setback	4.5 m (14.76 ft)
(j)	Minimum accessory building exterior side yard setback	4.5 m (14.76 ft)

7.2 ESTABLISHED RESIDENTIAL (ER2) ZONE (*Chautauqua Community*)
(entire section as amended by 4316Y-12)

In the Old Town Community Zoning District - Established Residential (ER2) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.2.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *bed and breakfast establishment* in accordance with Section 6.5
- (c) *cottage rental* (added by 4316AI-13, OMB PL130581, December 5, 2013)
- (d) *group home* in accordance with Section 6.20
- (e) *home occupation* or a *home profession* in accordance with Section 6.24
- (f) *public use* in accordance with Section 5.381
- (g) *single detached dwelling*

7.2.2 Zone Requirements:

(a)	Minimum lot area	As existing
(b)	Minimum lot frontage and lot depth	As existing
(c)	Minimum front yard setback	7.5 m (24.6 ft)
(d)	Minimum rear yard setback	7.5 m (24.6 ft)
(e)	Minimum interior side yard setback	1.22 m (4.0 ft)
(f)	Maximum building height	8.53 m (28.0 ft)
(g)	Minimum rear and side yard setback for accessory buildings	0.6 m (2.0 ft)
(h)	Maximum lot coverage	40%
(i)	Minimum exterior side yard setback	1.22 m (4.0 ft)
(j)	Minimum accessory building exterior side yard setback	1.22 m (4.0 ft)

7.2A ESTABLISHED RESIDENTIAL (ER3) ZONE (entire section as amended by 4316Z-12)

In the Old Town Community Zoning District - Established Residential (ER3) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.2A.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *bed and breakfast establishment* in accordance with Section 6.5

- (c) *cottage rental* (added by 4316AI-13, OMB PL130581, December 5, 2013)
- (d) *group home* in accordance with Section 6.20
- (e) *home occupation* or a *home profession* in accordance with Section 6.24
- (f) *public use* in accordance with Section 5.381
- (g) *single detached dwelling*

7.2A.2 Zone Requirements:

(a)	Required lot frontage and depth	As existing
(b)	Minimum front yard setback	7.5 m (24.6 ft)
	A detached or attached garage shall be setback from the front lot line a minimum of 1.0 m (3.28 ft) greater than the building face (including a covered porch) of the main building.	
(c)	Minimum rear yard setback	7.5 m (24.6 ft)
(d)	Minimum interior side yard setback	1.22 m (4.0 ft)
(e)	Maximum building height	8.5 m (27.89 ft)
(f)	Minimum rear and side yard setback for accessory buildings	1.52 m (5.0 ft)
(g)	Maximum lot coverage	33%
(h)	Minimum landscaped open space	30%
(i)	Minimum exterior side yard setback	4.5 m (14.76 ft)
(j)	Minimum accessory building exterior side yard setback	4.5 m (14.76 ft)

7.3 **RESIDENTIAL (R1) ZONE**

In the Old Town Community Zoning District - Residential (R1) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.3.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *bed and breakfast establishment* in accordance with Section 6.5
- (c) *cottage rental* (added by 4316AI-13, OMB PL130581, December 5, 2013)
- (d) *group home* in accordance with Section 6.20
- (e) *home occupation* or a *home profession* in accordance with Section 6.24
- (e) *public use* in accordance with Section 5.381 (as amended by 4316Y-12)
- (g) *single detached dwelling*

7.3.2 Zone Requirements:

(a)	Minimum lot frontage	18.0 m (60 ft)
(b)	Maximum lot frontage	21.5 m (70.5 ft)
(c)	Minimum lot area	668 m ² (7190.5 ft ²)
(d)	Maximum lot area	780 m ² (8396 ft ²)
(e)	Maximum lot coverage	33%
(f)	Minimum landscaped open space	30%
(g)	Minimum front yard setback	7.5 m (24.6 ft)
(h)	Minimum interior side yard setback	1.5 m (5 ft)
(i)	Minimum exterior side yard setback	4.5 m (14.76 ft)
(j)	Minimum rear yard setback	7.5 m (24.6 ft)
(k)	Minimum dwelling floor area	93 m ² (1001 ft ²)
(l)	Maximum building height	10.0 m (32.8 ft)
(m)	Minimum accessory building yards setback	1.5 m (5 ft)
(n)	Minimum accessory building exterior side yard setback	4.5 m (14.76 ft)

7.4 **RESIDENTIAL (R2) ZONE**

In the Old Town Community Zoning District - Residential (R2) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.4.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *converted dwelling unit*
- (c) *duplex dwelling*
- (d) *group home* in accordance with Section 6.20
- (e) *public use* in accordance with Section 5.381 (as amended by 4316Y-12)
- (f) *semi-detached dwelling*

7.4.2 Zone Requirements:

Semi-Detached Dwelling:

(a)	Minimum lot frontage per unit	9.0 m (29.53 ft)
-----	-------------------------------	------------------

(b)	Minimum lot area per unit	334 m ² (3595 ft ²)
(c)	Maximum lot coverage per unit	33%
(d)	Minimum landscaped open space	30%
(e)	Minimum front yard setback	7.5 m (24.6 ft)
(f)	Minimum interior side yard setback	1.5 m (5 ft)
(g)	Minimum interior side yard setback for common wall	0 m (0 ft)
(h)	Minimum exterior side yard setback	4.5 m (14.76 ft)
(i)	Minimum rear yard setback	7.5 m (24.6 ft)
(j)	Minimum dwelling floor area	93 m ² (1001 ft ²)
(k)	Maximum building height	10.0 m (32.8 ft)
(l)	Minimum accessory building yards setback	1.5 m (5 ft)
(m)	Minimum setback of uncovered, unenclosed or covered patio or deck form requires a side yard setback of	0.6 m (2 ft)
(n)	Minimum accessory building exterior side yard setback <i>(as amended by 4316Y-12)</i>	4.5 m (14.76 ft)

Duplex Dwelling:

(a)	Minimum lot frontage	18.0 m (60 ft)
(b)	Minimum lot area	668 m ² (7190.5 ft ²)
(c)	Maximum lot coverage	33%
(d)	Minimum landscaped open space	30%
(e)	Minimum front yard setback	7.5 m (24.6 ft)
(f)	Minimum interior side yard setback	1.5 m (5 ft)
(g)	Minimum exterior side yard setback	4.5 m (14.76 ft)
(h)	Minimum rear yard setback	7.5 m (24.6 ft)
(i)	Minimum dwelling floor area	93 m ² (1001 ft ²)
(j)	Maximum building height	10.0 m (32.8 ft)
(k)	Minimum accessory building yards setback	1.5 m (5 ft)
(l)	Minimum accessory building exterior side yard setback <i>(as amended by 4316Y-12)</i>	4.5 m (14.76 ft)

7.5 RESIDENTIAL MULTIPLE (RM1) ZONE

In the Old Town Community Zoning District - Residential Multiple (RM1) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.5.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *apartment building*
- (c) *converted dwelling unit*
- (d) *four-plex or quadraplex dwelling*
- (e) *triplex dwelling*
- (f) *public use* in accordance with Section 5.381 (as amended by 4316Y-12)
- (g) *townhouse or row dwelling*

7.5.2 Zone Requirements:

7.5.2.1 A Triplex, Four-plex, Quadraplex and 3 or 4 Unit Converted Dwelling:

(a)	Minimum lot frontage	18.0 m (60 ft)
(b)	Minimum lot area	668 m ² (7190.5 ft ²)
(c)	Maximum lot coverage	40%
(d)	Minimum landscaped open space	30%
(e)	Minimum front yard setback	7.5 m (24.6 ft)
(f)	Minimum interior side yard setback	1.5 m (5 ft)
(g)	Minimum exterior side yard setback	4.5 m (14.76 ft)
(h)	Minimum rear yard setback	7.5 m (24.6 ft)
(i)	Minimum dwelling unit floor area	
	1) Bachelor unit	37 m ² (400 ft ²)
	2) 1 bedroom unit	55.7 m ² (600 ft ²)
	3) 2 bedroom unit	69 m ² (743 ft ²)
	4) 3 bedroom unit	80 m ² (861 ft ²)
(j)	Maximum building height	10.0 m (32.8 ft)
(k)	Minimum accessory building yards setback	1.5 m (5 ft)
(l)	Minimum accessory building exterior side yard setback (as amended by 4316Y-12)	4.5 m (14.76 ft)

7.5.2.2 A Townhouse or Row-house Dwelling:

(a)	Minimum lot frontage:	
	1) Interior unit	7.5 m (24.6 ft)
	2) Exterior unit	9.0 m (29.53 ft)
(b)	Minimum lot area per unit	195 m ² (2099 ft ²)
(c)	Maximum lot coverage	50%
(d)	Minimum landscaped open space	25%

(e)	Minimum front yard setback	6.0 m (19.69 ft)
(f)	Minimum interior side yard setback -- for common walls	1.5 m (5 ft) 0 m (0 ft)
(g)	Minimum exterior side yard setback	4.5 m (14.76 ft)
(h)	Minimum rear yard setback	7.5 m (24.6 ft)
(i)	Minimum dwelling floor area	84 m ² (904 ft ²)
(j)	Maximum building height	10 m (32.8 ft)
(k)	Minimum accessory building yards setback	0.5 m (1.64 ft)
(l)	Minimum setback of uncovered, unenclosed or covered patio or deck form requires a side yard setback	0.6 m (2 ft)
(m)	Minimum accessory building exterior side yard setback <i>(as amended by 4316Y-12)</i>	4.5 m (14.76 ft)

7.5.2.3 An Apartment Building:

(a)	Minimum lot frontage	25.0 m (82 ft)
(b)	Minimum lot area	912 m ² (9817 ft ²)
(c)	Maximum lot coverage	50%
(d)	Minimum landscaped open space	25%
(e)	Minimum front yard setback	7.5 m (24.6 ft)
(f)	Minimum interior side yard setback	5 m (16.4 ft)
(g)	Minimum exterior side yard setback	7.5 m (24.6 ft)
(h)	Minimum rear yard setback	7.5 m (24.6 ft)
(i)	Minimum dwelling unit floor area: 1) Bachelor unit 2) 1 bedroom unit 3) 2 bedroom unit 4) 3 bedroom unit	37 m ² (400 ft ²) 55.7 m ² (600 ft ²) 69 m ² (743 ft ²) 80 m ² (861 ft ²)
(j)	Maximum building height	12.0 m (39.4 ft)
(k)	Minimum accessory building yards setback	1.5 m (5 ft)
(l)	Minimum accessory building exterior side yard setback <i>(as amended by 4316Y-12)</i>	4.5 m (14.76 ft)

7.6 RESIDENTIAL DEVELOPMENT (RD) ZONE

In the Old Town Community Zoning District - Residential Development (RD) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.6.1 Permitted Uses:

- (a) existing uses

7.6.2 Zone Requirements:

- (a) additions to an existing single detached dwelling shall be in accordance with Section 7.3.2
- (b) as existing

NOTE: *This zone is a development zone intending that the lands so zoned shall be developed for residential purposes at a subsequent date. The appropriate zone category shall be established through a zoning By-law amendment.*

7.7 QUEEN PICTON COMMERCIAL (QPC) ZONE

In the Old Town Community Zoning District - Queen Picton Commercial (QPC) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.7.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *bake shop*
- (c) *bank or financial institution*
- (d) *business or professional office*
- (e) *community centre*
- (f) *existing grocery store*, with limited outdoor display of goods
- (g) *hotel*
- (h) *outdoor patio restaurant*, in accordance with Section 6.36
- (i) *personal service establishment (as amended by 4316AC-12)*
- (j) *residential unit* in accordance with Section 6.48
- (k) *restaurant (as amended by 4316J-11)*
- (l) *retail store*
- (m) *theatre*
- (n) *vacation apartment (added by 4316AI-13, OMB PL130581, December 5, 2013)*

7.7.2 Prohibited Uses:

Take out restaurant. (as amended by 4316J-11)

7.7.3 Required Lot Frontage and Lot Depth:

Lots located within the Queen Picton Commercial (QPC) Zone shall have a lot frontage and lot depth based on the average of the lot frontages and lot depths of existing lots in the same Block Face that the lot is located.

7.7.4 Required Yard Setbacks:

Rear yard setback for buildings located within the Queen Picton Commercial (QPC) Zone shall be established by the average of the rear yard setbacks within the same Block Face that the lot is located. Exterior yard setbacks for new buildings and/or building additions located on lots with an exterior side yard within the Queen Picton Commercial (QPC) Zone shall have a building exterior side yard setback based on the average exterior side yard setback of existing buildings on the other lots in the same intersection. There shall be no front yard or interior side yard requirements for buildings located within the Queen Picton Commercial (QPC) Zone.

7.7.5 Required Building Height:

The height of existing buildings in the Queen Picton Commercial (QPC) Zone shall not be increased. The building height for new buildings located within the Queen Picton Commercial (QPC) Zone shall be the average of existing building heights within the same Block Face that the new building is located.

7.7.6 Required Building Lot Coverage:

Building lot coverage for lots located within the Queen Picton Commercial (QPC) Zone shall have a maximum building lot coverage based on the average of the lot coverage of existing buildings within the same Block Face that the building is located. Where the building lot coverage of the properties having a location within the same Block Face cannot be determined, the maximum lot coverage shall be seventy-five per cent (75%). *(as amended by 4316J-11)*

7.7.7 Buffer Strip:

Where an interior side yard or rear yard of a lot located within the Queen Picton Commercial (QPC) Zone abuts a residential zone, a strip of land adjacent to the adjoining lot line being a minimum of 1.524 m (5 ft) in width shall be used as a buffer strip and shall consist of a continuous natural living fence and be in accordance with Section 6.6

7.8 GENERAL COMMERCIAL (GC) ZONE

In the Old Town Community Zoning District - General Commercial (GC) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.8.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *art, craft or photography studio*
- (c) *automobile service station*
- (d) *bake shop*
- (e) *bank or financial institution*
- (f) *business or professional office*
- (g) *commercial recreation facility*
- (h) *convenience store*
- (i) *community centre*
- (j) *cottage rental (added by 4316AI-13, OMB PL130581, December 5, 2013)*
- (k) *funeral home or undertaking establishment*
- (l) *hotel*
- (m) *outdoor patio restaurant*, as a secondary use to an existing restaurant in accordance with Section 6.36
- (n) *personal service establishment (as amended by 4316J-11)*
- (o) *printing or binding establishment*
- (p) *private club*
- (q) *rental outlet*
- (r) *residential unit* in accordance with Section 6.48
- (s) *restaurant*
- (t) *retail store*
- (u) *service establishment*
- (v) *take-out restaurant*
- (w) *tavern*
- (x) *theatre*
- (y) *vacation apartment (added by 4316AI-13, OMB PL130581, December 5, 2013)*
- (z) *veterinarian clinic*
- (aa) *villa (added by 4316AI-13, OMB PL130581, December 5, 2013)*

7.8.2 Zone Requirements:

(a)	Minimum lot frontage	15.0 m (49.2 ft)
(b)	Minimum lot area	464 m ² (4994.62 ft ²)
(c)	Maximum lot coverage	50%
(d)	Minimum landscaped open space	20%

(e)	Minimum front yard setback	4.5 m (14.76 ft)
(f)	Minimum interior side yard setback	1.2 m (3.94 ft)
(g)	Minimum exterior side yard setback	4.5 m (14.76 ft)
(h)	Minimum rear yard setback	7.5 m (24.6 ft)
(i)	Minimum building height	10.0 m (32.8 ft)
(j)	Maximum building height	10.5 m (34.45 ft)
(k)	Minimum accessory building yards setback (as amended by 4316Y-12)	1.2 m (3.94 ft)
(l)	Minimum accessory building exterior side yard setback (as amended by 4316Y-12)	4.5 m (14.76 ft)

7.8.3 Buffer Strip:

Where the interior side yard or rear lot line of a lot zoned General Commercial (GC) abuts a residential zone, a strip of land adjacent to the adjoining lot line being a minimum of 3.0 m (9.84 ft) in width shall be used as a buffer strip in accordance with Section 6.6.

7.9 **MARINE COMMERCIAL (MC) ZONE**

In the Old Town Community Zoning District - Marine Commercial (MC) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.9.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) boat storage establishment
- (c) *dock*
- (d) *hotel*
- (e) *marina*
- (f) marine passenger service terminal
- (g) marine retail or outfitting outlet
- (h) *motel*
- (i) sail maker
- (j) *parking lot*
- (k) *private club*
- (l) *residential unit* in accordance with Section 6.48
- (m) swimming area

7.9.2 Zone Requirements:

(a)	Minimum lot frontage	18.0 m (59 ft)
(b)	Minimum lot area	668 m ² (7190.53 ft ²)
(c)	Maximum lot coverage	50%
(d)	Minimum landscaped open space	20%
(e)	Minimum front yard setback	4.5 m (14.76 ft)
(f)	Minimum interior side yard setback	1.2 m (3.94 ft)
(g)	Minimum exterior side yard setback	4.5 m (14.76 ft)
(h)	Minimum rear yard setback	7.5 m (24.6 ft)
(i)	Minimum building height	10.5 m (34.45 ft)
(j)	Maximum building height	10.5 m (34.45 ft)
(k)	Minimum accessory building yards setback	1.2 m (3.94 ft)
(l)	Minimum accessory building exterior side yard setback <i>(as amended by 4316Y-12)</i>	4.5 m (14.76 ft)

7.9.3 Buffer Strip:

Where the interior side yard or rear lot line of a lot zoned Marine Commercial (MC) abuts a residential zone, a strip of land adjacent to the adjoining lot line being a minimum of 3.0 m (9.84 ft) in width shall be used as a buffer strip in accordance with Section 6.6.

7.10 **INSTITUTIONAL (I) ZONE**

In the Old Town Community Zoning District - Institutional (I) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.10.1 Permitted Uses: *(as amended by 4316Y-12)*

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) ambulance service detachment
- (c) *cemetery*
- (d) *church or religious institution*
- (e) *community centre*
- (f) *day care centre*
- (g) fire hall
- (h) *hospital*
- (i) *library*

- (j) *museum*
- (k) *nursing home*
- (l) *public use* in accordance with Section 5.381 (as amended by 4315Y-12)
- (m) *school*

7.10.2 Zone Requirements:

(a)	Minimum lot frontage	36.5 m (119.75 ft)
(b)	Minimum lot area	1387 m ² (14930.03 ft ²)
(c)	Maximum lot coverage	15%
(d)	Minimum landscaped open space	20%
(e)	Minimum front yard setback	15.0 m (49.2 ft)
(f)	Minimum interior side yard setback	3.0 m (9.84 ft)
(g)	Minimum exterior side yard setback	9.0 m (29.53 ft)
(h)	Minimum rear yard setback	7.5 m (24.6 ft)
(i)	Minimum and maximum building height	10.5 m (34.45 ft)
(j)	Maximum building height	10.5 m (34.45 ft)
(k)	Minimum accessory building yards setback	1.2 m (3.94 ft)
(l)	Minimum accessory building exterior side yard setback (as amended by 4316Y-12)	4.5 m (14.76 ft)

7.10.3 Buffer Strip:

Where the interior side yard or rear lot line of a lot zoned Institutional (I) abuts a residential zone, a strip of land adjacent to the adjoining lot line being a minimum of 3.0 m (9.84 ft) in width shall be used as a buffer strip in accordance with Section 6.6.

7.11 **OPEN SPACE (OS) ZONE**

In the Old Town Community Zoning District - Open Space (OS) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.11.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *existing golf course*
- (c) *picnic area*
- (d) *private club*
- (e) *public or private park*
- (f) *public use* in accordance with Section 5.381 (as amended by 4315Y-12)

- (g) recreational use
- (h) uses permitted by the Niagara Parks Act

7.11.2 Zone Requirements:

(a)	Minimum lot frontage	n/a
(b)	Minimum lot area	n/a
(c)	Maximum lot coverage	5%
(d)	Minimum landscaped open space	n/a
(e)	Minimum front yard setback	15.0 m (49.2 ft)
(f)	Minimum interior side yard setback	3.0 m (9.84 ft)
(g)	Minimum exterior side yard setback	9.0 m (29.53 ft)
(h)	Minimum rear yard setback	7.5 m (24.6 ft)
(i)	Maximum building height	8.6 m (28.22 ft)
(j)	Minimum accessory building yards setback	1.2 m (3.94 ft)

7.12 **HOLDING (H-1) ZONE**

In the Old Town Community Zoning District – Holding (H-1) Zone, no land shall be used and no building or structure shall be used, altered or erected except in accordance with the following uses and provisions:

7.12.1 Permitted Uses:

- (a) existing uses

NOTE: Final zone designation is subject to the approval of the secondary plan and to an amendment of the Comprehensive Zoning By-law.

7.13 **ENVIRONMENTAL CONSERVATION ZONE OVERLAY**

The Environmental Conservation Zone Overlay provides regulations for new development, additions to existing development, and setbacks from each natural feature as listed.

For each natural feature, there is a list of permitted uses within the feature and a list of permitted uses adjacent to the feature, along with a number of regulations. These include minimum setbacks, and studies required to determine the effect of development on the natural feature.

Where the following zoning regulations specify that a use is permitted subject to an Environmental Impact Study (EIS), no new building or structure and no expansion to any existing building or structure shall be permitted unless it has been demonstrated through an EIS that there will be no negative impact on the adjacent natural feature.

7.13.1 Water Feature 1

7.13.1.1 Permitted Uses:

- (a) *conservation management activities and uses*, subject to an environmental impact study (EIS).
- (b) existing private boathouses and docks
- (c) permitted uses adjacent to *Water Feature 1*:
 - (1) Existing dwellings, buildings and structures
 - (2) Expansions to existing dwellings, building and structures, subject to an environmental impact study (EIS)
 - (3) Existing *accessory buildings and structures* in accordance with Section 6.1, including expansions, subject to an environmental impact study (EIS)
 - (4) *Single detached dwelling* and *accessory buildings* on existing lots of record subject to clearance from the Niagara Peninsula Conservation Authority (NPCA)
 - (5) *Infrastructure*
- (d) public boat launch and dock, subject to an environmental impact study (EIS).
- (e) uses pursuant to the Niagara Parks Act on Niagara Parks Commission land in accordance with Section 1.2. (*as amended by 4316C-09 OMB Decision PLO90912*)

7.13.1.2

Zoning requirements:

- (a) Within 30 m of the edge of the feature an environmental impact study (EIS) is required to determine the required minimum setback, with a minimum setback no less than 30 m required. A narrower buffer may be considered where the EIS has demonstrated it will not harm fish or fish habitat, but in no case shall the buffer be less than 15 m.
- (b) Development subject to clearance from the Niagara Peninsula Conservation Authority (NPCA)

7.13.2 Water Feature 2

7.13.2.1 Permitted Uses:

- (a) *conservation management activities and uses*, subject to an environmental impact study (EIS).
- (b) existing private boathouses and docks.
- (c) permitted uses adjacent to *Water Feature 2*:

- (1) Existing dwellings, buildings and structures
- (2) Expansions to existing dwellings, building and structures, subject to an environmental impact study (EIS)
- (3) Existing *accessory buildings and structures* in accordance with Section 6.1, including expansions, subject to an environmental impact study (EIS).
- (4) *Single detached dwelling* and *accessory buildings* on existing lots of record subject to clearance from the Niagara Peninsula Conservation Authority (NPCA).
- (5) *Infrastructure*
- (d) public boat launch and dock, subject to an environmental impact study (EIS).

7.13.2.2 Zoning requirements:

- (a) Within 30 m of the edge of the feature an EIS is required to determine the required minimum setback, with a minimum setback no less than 15 m required. A narrower buffer may be considered where the EIS has demonstrated it will not harm fish or fish habitat.
- (b) Development subject to clearance from the Niagara Peninsula Conservation Authority (NPCA)

7.13.3 Regional Environmental Conservation Area

7.13.3.1 Permitted Uses:

- (a) *conservation management activities and uses* subject to an environmental impact study (EIS)
- (b) existing *accessory buildings and structures* in accordance with Section 6.1, including expansions, subject to an environmental impact study (EIS)
- (c) existing dwellings, buildings and structures
- (d) existing *public and private parks*
- (e) existing private boathouses and docks
- (f) expansions to existing dwellings, building and structures, subject to an environmental impact study (EIS)
- (g) *infrastructure*
- (h) public boat launch and dock, subject to an environmental impact study (EIS)

- (i) single detached dwelling and accessory buildings on existing lots of record subject to clearance from the Niagara Peninsula Conservation Authority (NPCA)
- (j) uses pursuant to the Niagara Parks Act on Niagara Parks Commission land in accordance with Section 1.2. *(as amended by 4316C-09 OMB Decision PLO90912)*

7.13.3.2 Zoning requirements:

- (a) Within 50 m of the edge of the conservation area, an EIS is required to determine the minimum setback
- (b) A single detached dwelling is permitted within a significant woodland on existing lots of record, but will require an environmental impact study (EIS) and clearance from the Niagara Peninsula Conservation Authority (NPCA).
- (c) Development subject to clearance from the Niagara Peninsula Conservation Authority (NPCA) and the Niagara Parks Commission.

7.13.4 NPCA Regulation Area

7.13.4.1 Development subject to NPCA approval

7.13.5 Water body

7.13.5.1 Permitted Uses:

- (a) *conservation management activities and uses*, subject to an environmental impact study (EIS)
- (b) existing private boathouses and docks
- (c) *infrastructure*
- (d) permitted uses adjacent to a water body:
 - (1) existing *accessory buildings and structures* in accordance with Section 6.1, including expansions, subject to an environmental impact study (EIS)
 - (2) existing dwellings, buildings and structures
 - (3) existing public and private parks
 - (4) expansions to existing dwellings, building and structures, subject to an environmental impact study (EIS)
 - (5) *infrastructure*

- (6) single detached dwelling and accessory buildings on existing lots of record subject to clearance from the Niagara Peninsula Conservation Authority (NPCA)
- (e) public boat launch and dock, subject to an environmental impact study (EIS)
- (f) uses pursuant to the Niagara Parks Act on Niagara Parks Commission land in accordance with Section 1.2. *(as amended by 4316C-09 OMB Decision PLO90912)*

7.13.5.2 Zoning requirements:

- (a) Development subject to clearance from the Niagara Peninsula Conservation Authority (NPCA)

7.14 **SITE SPECIFIC EXCEPTIONS**

7.14.1 **The Village Subdivision, Niagara Stone Road – See Schedule ‘A-3’ (C6, C7, C7-M, OS, OS-1, R1-A, R1-A1, RM5, & RM5-1) (as amended by 4316J-11 and 4316AX-14)**

Notwithstanding the provisions of the Residential, Commercial and Open Space Zones, for lands located within the Village Subdivision identified as (C6), (C7), (C7-M), (OS), (OS-1), (R1-A), (R1-A1), (RM5), and (RM5-1) on Schedule ‘A-3’ and shown on Figure 7.14.1F below, the following Zones, permitted uses and zone requirements shall apply: (sections were renumbered by 4316J-11)

7.14.1.1 **Local Commercial (C6) Zone**

7.14.1.1.1 Permitted Uses

- (a) *bank or financial institution*
- (b) *business and professional offices and clinics*
- (c) *convenience store*
- (d) *outdoor patio restaurant, as a secondary use to an existing restaurant*
- (e) *personal service establishment*
- (f) *residential dwelling units above and/or behind any permitted use*
- (g) *restaurant*
- (h) *retail stores*
- (i) *take-out food restaurant*
- (j) *vacation apartment (added by 4316AI-13, OMB PL130581, December 5, 2013)*

7.14.1.1.2 Zone Requirements

(a)	Minimum setback from Regional Road 55 <i>All other building setbacks shall be regulated by the architectural codes contained in the subdivision agreement</i>	15 m (49.2 ft)
(b)	Maximum building height	11 m (36 ft)
(c)	Maximum lot coverage	80%
(d)	Floor area restrictions: (1) Maximum gross leasable floor area for a single use (2) Maximum total gross leasable floor area for all uses in a Local Commercial (C6) Zone (3) The floor area restrictions shall not apply to business and professional offices and clinics	557 m ² 1858 m ² (19,999.35 ft ²) (5,995.49 ft ²)

(e)	Minimum dwelling unit area:	
	(1) One bedroom dwelling unit	41 m ² (441.33 ft ²)
	(2) Two bedroom dwelling unit	69 m ² (742.73 ft ²)
	(3) Three bedroom dwelling unit	80 m ² (861.14 ft ²)

7.14.1.2 Commercial (C7) Zone

7.14.1.2.1 Permitted Uses

- (a) *clubhouse*
- (b) *micro-brewery*
- (h) *outdoor event area:*

An outdoor event area / tent area is permitted subject to a maximum of 26 events each calendar year [each event not to exceed 12 hours per day in duration], and shall be subject to the following provisions:

- (1) minimum setback of 100 m from any residential zone (RM5 and RM5-1 Zone categories) shall be provided.
- (2) hours of operation shall be limited to between 10:00 a.m. and 10:00 p.m.
- (3) the use shall be permitted to operate throughout the year to the maximum number of events permitted.
- (4) there shall be no amplified music or public address system.
- (5) maximum of one (1) event shall be permitted at any given time.
- (6) all outdoor lighting shall be deflected away from any residential area.
- (7) minimum of twenty-five (25) on-site parking spaces shall be provided.
- (8) the provisions of Section 6.27, *Loading Space Requirements*, shall not apply.

- (e) *public use*
- (d) *religious institution*
- (g) residential dwelling unit above and/or behind any permitted use
- (i) retail and service uses:
 - (1) *business and professional office and clinic*
 - (2) custom workshop
 - (3) *outdoor patio restaurant*, as a secondary use to an existing restaurant.

- (4) *personal service establishment*
- (5) *public market (as amended by 4316J-11)*
- (6) *retail store*
- (7) *restaurant*
- (8) *take-out food restaurant*
- (c) *school*
- (f) *theatre*
- (j) *vacation apartment (added by 4316AI-13, OMB PL130581, December 5, 2013)*

7.14.1.2.2 Zone Requirements

(a)	Minimum setback from Regional Road 55 <i>All other building setbacks shall be regulated by the architectural codes contained in the subdivision agreement</i>	15 m (49.2 ft)
(b)	Maximum building height	11 m (36 ft)
(c)	Maximum lot coverage	80%
(d)	Floor area restrictions for retail and service use:	
	(1) Maximum gross leasable floor area for a single use	557 m ² (5995.49 ft ²)
	(2) Maximum total gross leasable floor area for all retail and service uses	7000 m ² (75349.83 ft ²)
(e)	Minimum dwelling area:	
	(1) One bedroom dwelling	41 m ² (441.33 ft ²)
	(2) Two bedroom dwelling	69 m ² (742.73 ft ²)
	(3) Three bedroom dwelling	80 m ² (861.14 ft ²)
(f)	Off street parking requirements in accordance with Section 7.14.1.9 (c) <i>(as amended by 4316Y-12)</i>	

7.14.1.3 Commercial – Mixed (C7-M) Zone

7.14.1.3.1 Permitted Uses:

- (a) any use permitted in the Commercial (C7) Zone subject to the zone requirements of that zone
- (b) any use permitted in the Medium Density Residential (RM5-1) Zone subject to the zone requirements of that zone

7.14.1.3.2 Zone Requirement:

- (a) Notwithstanding the permitted uses in the Commercial – Mixed (C7-M) Zone, at build-out for land within this zone, a minimum of 51% of the total ground floor area of all buildings shall be devoted to commercial use

7.14.1.4 Open Space (OS) Zone

7.14.1.4.1 Permitted Uses:

- (a) Landscaped open space

7.14.1.4.2 Zone Requirements:

(a)	Minimum setback from Regional Road 55 <i>All other building setbacks shall be regulated by the architectural codes contained in the subdivision agreement</i>	15 m (49.2 ft)
(b)	Maximum lot coverage	10%
(c)	Maximum building height	5 m (16.4 ft)
(d)	Off street parking requirements in accordance with Section 7.14.1.9 (c) <i>(as amended by 4316Y-12)</i>	

7.14.1.5 Open Space (OS-1) Zone

7.14.1.5.1 Permitted Uses:

- (a) *landscaped open space*
(b) *recreational use (as amended by 4316J-11)*

7.14.1.5.2 Zone Requirements:

(a)	Building setbacks shall be regulated by the architectural codes contained in the subdivision agreement	15 m (49.2 ft)
(b)	Maximum lot coverage	15%
(c)	Maximum building height	5 m (16.4 ft)
(d)	Off street parking requirements in accordance with Section 7.14.1.9 (c) <i>(as amended by 4316Y-12)</i>	

7.14.1.6 Residential (R1-A) Zone:

7.14.1.6.1 Permitted Uses:

- (a) *accessory buildings and structures*

- (b) *bed and breakfast establishment*
- (c) *group home* except for a group home for the socially disadvantaged, a group home for alcoholics, a group home for ex-offenders and community resource centres subject to Section 6.20
- (d) *home occupation* including a private workshop in an accessory building that is operated by the resident of the dwelling for the purposes of making home crafts. Home crafts are not permitted to be sold from the property.
- (e) *lodging house* providing accommodation for a maximum of two (2) roomers or boarders per dwelling
- (f) *single detached dwelling* (Type A or Type B)

7.14.1.6.2 Zone Requirements:

(a)	Single Detached Dwelling Type A:	
(1)	Minimum lot frontage	21 m (69 ft)
(2)	Minimum lot area	520 m ² (5597.42 ft ²)
(3)	Maximum lot coverage	40%
(4)	Minimum landscaped open space	33%
(5)	Building setbacks shall be regulated by the architectural code contained in the subdivision agreement.	
(6)	Minimum dwelling unit area	93 m ² (1001 ft ²)
(7)	Maximum building height	9.5 m (31.17 ft)
(8)	Minimum parking requirement in accordance with Section 7.14.1.9 (c) (as amended by 4316Y-12)	
(b)	Single Detached Dwelling Type B:	
(1)	Minimum lot frontage	18 m (59 ft)
(2)	Minimum lot area	446 m ² (4800.86 ft ²)
(3)	Maximum lot coverage	50%
(4)	Minimum landscaped open space	33%
(5)	Building setbacks shall be regulated by the architectural code contained in the subdivision agreement.	
(6)	Minimum dwelling unit area	93 m ² (1001 ft ²)
(7)	Maximum building height	9.5 m (31.17 ft)
(8)	Minimum parking requirement in accordance with Section 7.14.1.9 (c) (as amended by 4316Y-12)	
(c)	Rear yard building restriction:	
(1)	Notwithstanding the accessory buildings and structures provisions of Section 7.14.1.9, no person shall within a required rear yard building setback of 7.6 m (24.93 ft) of a Residential (R1-A) Zone erect, or	

	construct any building or structure for any purpose except for one accessory building having a maximum floor area of 13.37 m ² , a minimum building setback of 1.5 m (5 ft) from any property line and a maximum building height of 3.0 m (9.84 ft) which shall not be used for the storage or parking of an automobile. This provision shall not apply to swimming pools. <i>(as amended by 4316Y-12)</i>
--	---

7.14.1.7 Medium Density Residential (RM5) Zone

7.14.1.7.1 Permitted Uses:

- (a) *accessory buildings and structures*
- (b) any use permitted in a Residential (R1-A) Zone
- (c) *group home* except for a group home for the socially disadvantaged, a group home for alcoholics, a group home for ex-offenders and community resource centres subject to Section 6.20
- (d) *home occupation* including an office or a workshop for the purposes of making home crafts may be permitted in a accessory building provided that office or workshop is operated by a resident of the dwelling. There shall be no retail sales of items, goods or products permitted from these premises;
- (e) *lodging house* providing accommodation for a maximum of two (2) roomers or boarders per dwelling
- (f) *semi-detached dwelling*
- (g) *single detached dwelling* (Type C and Type D)
- (h) *townhouse dwelling*

7.14.1.7.2 Zone Requirements:

(a)	A use permitted in a Residential (R1-A) Zone shall be in accordance with the Zone Requirements of Section 7.14.1.6.2 <i>(as amended by 4316Y-12)</i>	
(b)	Single Detached Dwelling Type C:	
	(1) Minimum lot frontage	8.5 m (27.89 ft)
	(2) Minimum lot area	225 m ² (2421.88 ft ²)
	(3) Maximum lot coverage	65%
	(4) Minimum landscaped open space	15%
	(5) Building setbacks shall be regulated by the architectural code contained in the subdivision agreement	
	(6) Minimum dwelling unit area	93 m ² (1001 ft ²)
	(7) Maximum building height	9.5 m (31.17 ft)

	(8) Minimum parking requirement in accordance with Section 7.14.1.9 (c) (as amended by 4316Y-12)	
(c)	Single Detached Dwelling Type D:	
	(1) No frontage on a public road, access by private lane.	
	(2) Minimum lot area	225 m ² (2421.88 ft ²)
	(3) Maximum lot coverage	65%
	(4) Minimum landscaped open space	15%
	(5) Building setbacks shall be regulated by the architectural code contained in the subdivision agreement.	
	(6) Minimum outdoor privacy area	20 m ²
	(7) Minimum dwelling unit area	93 m ² (1001 ft ²)
	(8) Maximum building height	9.5 m (31.17 ft)
	(9) Minimum parking requirement in accordance with Section 7.14.1.9 (c) (as amended by 4316Y-12)	
(d)	Semi Detached Dwelling or Townhouse Dwelling:	
	(1) Minimum lot frontage per unit	6.0 m (19.69 ft)
	(2) Minimum lot area per unit	160 m ² (1722.22 ft ²)
	(3) Maximum lot coverage	80%
	(4) Minimum landscaped open space	10%
	(5) Building setbacks shall be regulated by the architectural code contained in the subdivision agreement.	
	(6) Minimum dwelling unit area	83 m ² (893.40 ft ²)
	(7) Maximum building height	9.5 m (31.17 ft)
	(8) Minimum parking requirement in accordance with Section 7.14.1.9 (c) (as amended by 4316Y-12)	

7.14.1.8 Medium Density Residential (RM5-1) Zone

7.14.1.8.1 Permitted Uses:

- (a) *accessory buildings and structures*
- (b) any use permitted in the Medium Density Residential (RM5) Zone
- (c) *apartment building*
- (d) *home occupation* including an office or a workshop for the purposes of making home crafts may be permitted in an accessory building provided that office or workshop is operated by a resident of the dwelling
- (e) *nursing home*

(f) Retirement Residence - one hundred twenty (120) suites

7.14.1.8.2 Zone Requirements:

(a)	A use permitted in the Medium Density (RM5) Zone shall be in accordance with the Zone Requirements of Section 7.14.1.7.2 (as amended by 4316Y-12)	
(b)	Apartment building:	
	(1) Minimum lot frontage	18 m (59 ft)
	(2) Minimum lot area	50 m ² per unit
	(3) Maximum lot coverage provided that an Open Space (OS-1) Zone is within 20 m (65.62 ft) of the subject property, otherwise the maximum lot coverage shall be 40%.	80%
	(4) Minimum landscaped open space provided that an Open Space (OS-1) Zone is within 20 m (65.62 ft) of the subject property; otherwise the minimum landscaped open space requirement shall be 33%.	10%
	(5) Building setbacks shall be regulated by the architectural code contained in the subdivision agreement	
	(6) Minimum dwelling unit area:	
	(i) One bedroom unit	41 m ² (441.33 ft ²)
	(ii) Two bedroom unit	69 m ² (742.73 ft ²)
	(iii) Three bedroom unit or greater	80 m ² (861.14 ft ²)
	(7) Maximum building height	11 m (36 ft)
	(8) Minimum parking requirement in accordance with Section 7.14.1.9 (c) (as amended by 4316Y-12)	
(c)	Retirement Residence:	
	(1) Minimum lot area	0.82 ha (2.0 ac)
	(2) Minimum lot frontage (Rampart Street)	106.2 m (348.4 ft)
	(3) Minimum lot depth	77.5 m (254.3 ft)
	(4) Maximum lot coverage	43%
	(5) Maximum building height (measured at Rampart St)	14.1 m 46.5 ft
	(6) Minimum westerly setback (from Niven Road)	3.9 m (12.8 ft)
	(7) Minimum easterly setback (from Rampart St)	4 m (13.1 ft)

	(8) Minimum northerly side yard setback	24.6 m (80.9 ft)
	(9) Minimum southerly side yard setback	2 m (6.56 ft)
	(10) Minimum setback from Niven Road for Pavilion	6.4 m (20.9 ft)
	(11) Parking spaces	not less than 40 spaces
	(12) Loading spaces	1
(d)	Nursing Home:	
	(1) Minimum lot frontage	18 m (59 ft)
	(2) Minimum lot area	0.2 ha (0.49 ac)
	(3) Maximum lot coverage provided that an Open Space (OS-1) Zone is within 20 m (65.62 ft) of the subject property, otherwise the maximum lot coverage shall be 40%	80%
	(4) Minimum landscaped open space provided that an Open Space (OS-1) Zone is within 20 m (65.62 ft) of the subject property; otherwise the minimum landscaped open space requirement shall be 33%	10%
	(5) Building setbacks shall be regulated by the architectural code contained in the subdivision agreement	
	(6) Maximum building height	11 m (36 ft)
	(7) Minimum parking requirement in accordance with Section 7.14.1.9 (c) (as amended by 4316Y-12)	
	(8) Maximum number of beds	120

7.14.1.9 General Provisions of The Village Subdivision

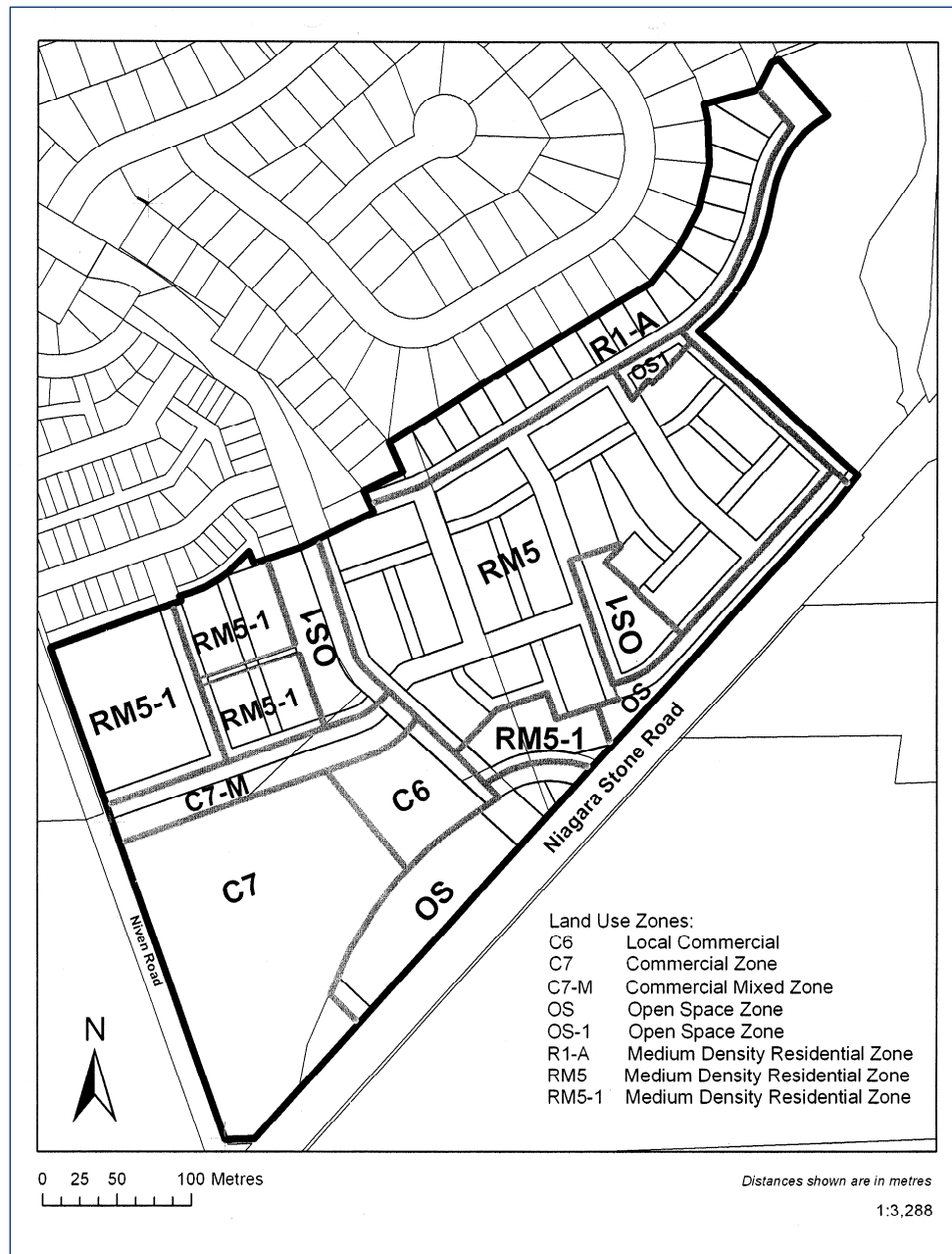
- (a) Building restriction near Two Mile Creek: no building or structure shall be located within the flood line of Two Mile Creek. Buildings or structures proposed to be located within the fill line of Two Mile Creek shall require the approval of the Niagara Peninsula Conservation Authority or designated authority having jurisdiction.
- (b) Accessory buildings and structures: accessory buildings and structures shall be permitted in all residential, commercial and open space zones subject to the following requirements:
 - (1) Minimum setback from Regional Road 55 15 m (49.2 ft)
 - (2) Building setbacks shall be regulated by the architectural code contained in the subdivision agreement.
 - (3) Shall not be located in the front yard of any residential zone.

- (4) Shall not be used for human habitation.
- (5) Maximum height.....5.5 m (18 ft)
save and except for those accessory structures located in the
required rear yard of a Residential (R1-A) Zone *(as amended by
4316J-11)*
- (6) Maximum lot coverage:
 - (i) Residential (R1-A) Zone 11%
(as amended by 4316J-11)
 - (ii) Any other Zone.....23%
(as amended by 4316AS-14)
- (c) Off street parking requirement:
 - (1) Commercial Zones:
 - (i) Micro-brewery and custom workshop 1 space for
every 90 m² of manufacturing area and 1 space for every
33 m² (355.22 ft²) of secondary retail sales area or
restaurant area.
 - (ii) All other permitted uses 1 space for
every 33 m² (355.22 ft²) of gross leasable floor area.
 - (iii) 1 space per dwelling unit
 - (2) Residential Zones:
 - (a) Single detached dwelling (all types)..... 2 space per unit
 - (b) Semi-detached dwelling
or townhouse dwelling.....2 spaces per unit
 - (c) Apartment building 1 space per dwelling unit
 - (d) Nursing home..... 1 space per 4 beds
 - (e) Second dwellings 1 space per dwelling unit
 - (3) Open Space Zones:
 - (a) Landscaped open space no parking required
 - (b) Low impact recreational use 1 space per employee
 - (4) The off street parking requirements for a commercial use, an
apartment building or a nursing home may be provided on a
separate lot zoned Local Commercial (C6) Zone, Commercial (C7)
Zone, Commercial - Mixed (C7-M) Zone, or Medium Density
Residential (RM5-1) and is within 180 m of the building to which
the parking requirement applies.
 - (5) Tandem parking to a maximum depth of one tandem space may
be permitted to meet the off street parking requirements in a

residential zone excluding apartment buildings and nursing homes.

- (6) The requirements of Section 6.40 Parking Space Requirements, additional provisions (i) shall not apply. *(as amended by 4316J-11)*
- (7) The minimum parking length requirements of Section 6.38 (g) of General Provisions, may be decreased to 5.5 m for the second required parking space which backs onto a private laneway. *(as amended by 4316AS-14)*
- (d) Building height means the vertical distance between grade and:
 - (1) In the case of a flat roof, the highest point of the roof surface or the parapet, whichever is greater;
 - (2) In the case of a mansard roof, the deck roof line; and,
 - (3) In the case of a gable, hip or gambrel roof, the mean height between the eaves and the ridge.
- (e) Notwithstanding the provisions of Section 6.45, a building or structure may be erected upon a lot or block within a plan of subdivision which provides for the creation of lots that front on a public walkway and have rear access from a private road, provided that private road will be constructed and maintained to the satisfaction of the Town, and that the Town, by way of an agreement, is permitted the right of access for emergency purposes and is absolved of any future maintenance or acquisition of such private road.

Figure 7.14.1F: The Village Subdivision, Niagara Stone Road



7.14.1.10 "Residential (R1-A-1) Zone:

7.14.1.10.1 Permitted Uses:

- a) any use permitted in a Residential (R1-A) Zone

7.14.1.10.2 Zone Requirements:

(a)	A use permitted in the Residential (R1-A-1) Zone shall be in accordance with the Zone Requirements of Section 7.14.1.6.2, in addition to the following provisions	
	(1) Minimum front yard setback	6.0 m (19.69 ft)
	(2) The location of an attached garage shall be on the north side of the dwelling	

7.14.2 2256 Niagara Stone Road - St. Andrew's Glen Subdivision – See Schedule 'A-3' (R1-2)

Notwithstanding the provisions of the Residential and Open Space Zones lands located within the St. Andrew's Glen Subdivision as identified as (R1-2) on Schedule 'A-3', the following permitted uses and zone requirements shall apply:

7.14.2.1 R1-2 Permitted Uses:

- (a) *accessory buildings and structures*
- (b) *single detached dwelling unit*
- (c) *townhouse dwelling unit*

7.14.2.2 R1-2 Zone Requirements:

7.14.2.2.1 Single Detached Dwellings:

(a)	Maximum number of dwelling units	52
(b)	Minimum lot frontage on a private street or lane	13.0 m (42.65 ft)
(c)	Minimum lot area	390 m ² (4198.06 ft ²)
(d)	Minimum building setback from an interior side lot line	1.0 m (3.28 ft)
(e)	Minimum side yard setbacks for: (1) Lot 13 (2) Lot 14	7.0 m (22.97 ft) 8.0 m (26.24 ft)
(f)	Minimum building setback from any other lot line	2.0 m (6.56 ft)
(g)	Minimum building setback for an attached or detached garage	1.0 m (3.28 ft)
(h)	Minimum setback for an unenclosed porch, steps or deck	1.0 m (3.28 ft)
(i)	Maximum lot coverage including accessory buildings and structures: (1) Lots 1-14, 65-67 - for small dwelling and garage - for large dwelling and garage	32% 35%

	(2) Lots 15-56 [excluding lot 41 and townhouse units] - for small dwelling and garage - for large dwelling and garage	40.5% 46%
	(3) Lots 57-65 - for small dwelling and garage - for large dwelling and garage	17% 20%
(j)	Maximum building height	8.5 m (27.89 ft)
(k)	Minimum outdoor privacy area	27 m ² (290.64 ft ²)
(l)	Minimum off-street parking requirement	2 spaces/unit
(m)	Minimum dwelling unit area	93 m ² (1001 ft ²)
(n)	Minimum setback for a garage from a private laneway	1.0 m (3.28 ft)

7.14.2.2.2 Townhouse Dwelling Units:

(a)	Maximum number of dwelling units	15
(b)	Minimum lot exposure on a private street or lane	7 m (22.97 ft)
(c)	Minimum lot area	190 m ² (2045.21 ft ²)
(d)	Minimum building setback from an interior side lot line	0.0m
(e)	Minimum side yard setback for lot 41	7.5 m (24.6 ft)
(f)	Minimum building setback from any other lot line	2.0 m (6.56 ft)
(g)	Minimum setback for an unenclosed porch, steps or deck	1.0 m (3.28 ft)
(h)	Maximum lot coverage including accessory buildings and structure:	
	(1) Townhouse lots 39-41 & 42-53 - for small dwelling and garage - for large dwelling and garage.	32% 43%
(i)	Maximum building height	9.4 m (30.84 ft)
(j)	Minimum outdoor privacy area	27 m ² (290.64 ft ²)
(k)	Minimum off-street parking requirement	2 spaces / unit
(l)	Minimum dwelling unit area	93 m ² (1001 ft ²)
(m)	Minimum setback for garage from a private laneway	1.0 m (3.28 ft)

7.14.2.2.3 Accessory Buildings and Structures:

(a)	Accessory building and structures are not permitted in a front yard
-----	---

(b)	Minimum setback from any property line	0.5 m (1.64 ft)
(c)	Minimum building height	4.0 m (13.12 ft)

7.14.2.3 General Provisions:

- (a) Tandem parking to meet the off-street parking requirements of this By-law is permitted to a maximum depth of one tandem parking space.
- (b) No buildings or structures shall be permitted within 7.6 m (24.93 ft) of the “Open Space (OS) Zone” without written approval from the Niagara Peninsula Conservation Authority.
- (c) Steps to a deck porch or entrance to a dwelling are permitted to encroach to a property line.
- (d) Section 6.45 “Public Street Frontage Required” shall not apply.
- (e) Height means, when use with reference to a building, the vertical distance between grade and:
 - (1) In the case of a flat roof, the highest point of the roof surface or the parapet, whichever is greater;
 - (2) In the case of a mansard roof, the deck roof line, and;
 - (3) In the case of a gable, hip or gambrel roof, the roof ridge
- (f) Along the east property boundary of the lands a landscape strip shall be provided having a minimum width of 2 m (6.56 ft).

7.14.3 1897 Lakeshore Road, Butler’s Creek Subdivision (Single Detached Residential) – See Schedule ‘A-3’ (R1-3)

Notwithstanding the provisions of the Residential (R1) Zone, lands located within the Butler’s Creek Subdivision, and identified as (R1-3) on Schedule ‘A-3’, the following permitted uses and zone requirements shall apply:

7.14.3.1 R1-3 Permitted Uses:

- (a) *accessory structures* in accordance with Section 6.1
- (b) *bed and breakfast establishment* in accordance with Section 6.5
- (c) *home occupation* or *home profession* in accordance with Section 6.24
- (d) *single detached dwelling* unit

7.14.3.2 R1-3 Zone Requirements:

(a)	Maximum number of dwelling units	18
-----	----------------------------------	----

(b)	Minimum lot frontage	16 m (52.5 ft)
(c)	Minimum lot area	657m ² (7072 ft ²)
(d)	Minimum lot depth:	
	(1) Lots 2 and 16	19 m (62.34 ft)
	(2) All other lots	30 m (100 ft)
(e)	Maximum building height to peak of roof measured from the grade at the front of the dwelling	10.7 m (35.10 ft)
(f)	Maximum lot coverage	33%
(g)	Maximum lot coverage for lot 8	37%
(h)	Minimum landscaped open space	35%
(i)	Maximum accessory building height	4.5 m (14.76 ft)
(j)	Minimum front, rear and side yard requirement and ground floor area shall be regulated in the Subdivider's Agreement	

7.14.4 1897 Lakeshore Road - Butler's Creek Subdivision (Townhouses) – See Schedule 'A-3' (RM1-4) & (OS-4)

Notwithstanding the provisions of the Residential Multiple (RM1) Zone and the Open Space (OS) Zone, lands located within the Butler's Creek Subdivision identified as RM1-4 and OS-4 on Schedule 'A-3' and shown on Figure 7.14.4F below, the following permitted uses and zone requirements shall apply:

7.14.4.1 RM1 – 4 Permitted Uses:

- (a) *accessory structures* in accordance with Section 6.1
- (b) *bed and breakfast establishment* in accordance with Section 6.5
- (c) *home occupation or home profession* within a single detached dwelling in accordance with Section 6.24
- (d) *single detached dwelling*
- (e) *townhouse dwelling units*

7.14.4.2 RM1 – 4 Zone Requirements:

(a)	Maximum number of dwelling units	24
(b)	Single detached dwelling:	
	(1) Minimum lot frontage per unit	15.3 m (50.19 ft)
	(2) Minimum lot area	468 m ² (5037.7 ft ²)
	(3) Minimum lot depth	22 m (72.17 ft)
	(4) Maximum building height measured from front grade to peak of roof.	8.5 m (28 ft)

(5)	Maximum lot coverage	40%
(6)	Minimum landscaped open space	30% of lot area
(7)	Maximum accessory building height	4.5 m (14.76 ft)
(8)	Minimum front, rear and side yard requirement and ground floor area shall be regulated in the Subdivider's Agreement	
(c)	Townhouse dwelling units:	
(1)	Minimum lot frontage per unit	7 m (22.9 ft)
(2)	Minimum lot area per unit	322.0 m ² (3466 ft ²)
(3)	Minimum lot depth	22 m (72.17 ft)
(4)	Maximum building height measured from front grade to peak of roof	8.5 m (28 ft)
(5)	Minimum exterior wall setback	1.2 m (3.94 ft)
(6)	Minimum front yard setback from private road	3.5 m (11.48 ft)
(7)	Maximum lot coverage	65%
(8)	Minimum landscaped open space	30% of lot area
(9)	Maximum accessory building height	4.5 m (14.76 ft)
(10)	Minimum front, rear and side yard requirement and ground floor area shall be regulated in the Subdivider's Agreement	

7.14.4.3 Where a yard abuts a property with an existing dwelling at the time of passing this By-law, a minimum setback of 7.62 m (25 ft) shall apply. The required setback of 7.62 m (25 ft) shall apply to the main building and, where a side yard abuts a property with an existing dwelling at the time of passing of this By-law, a minimum side yard of 3.0 m (9.84 ft) shall apply to the main building.

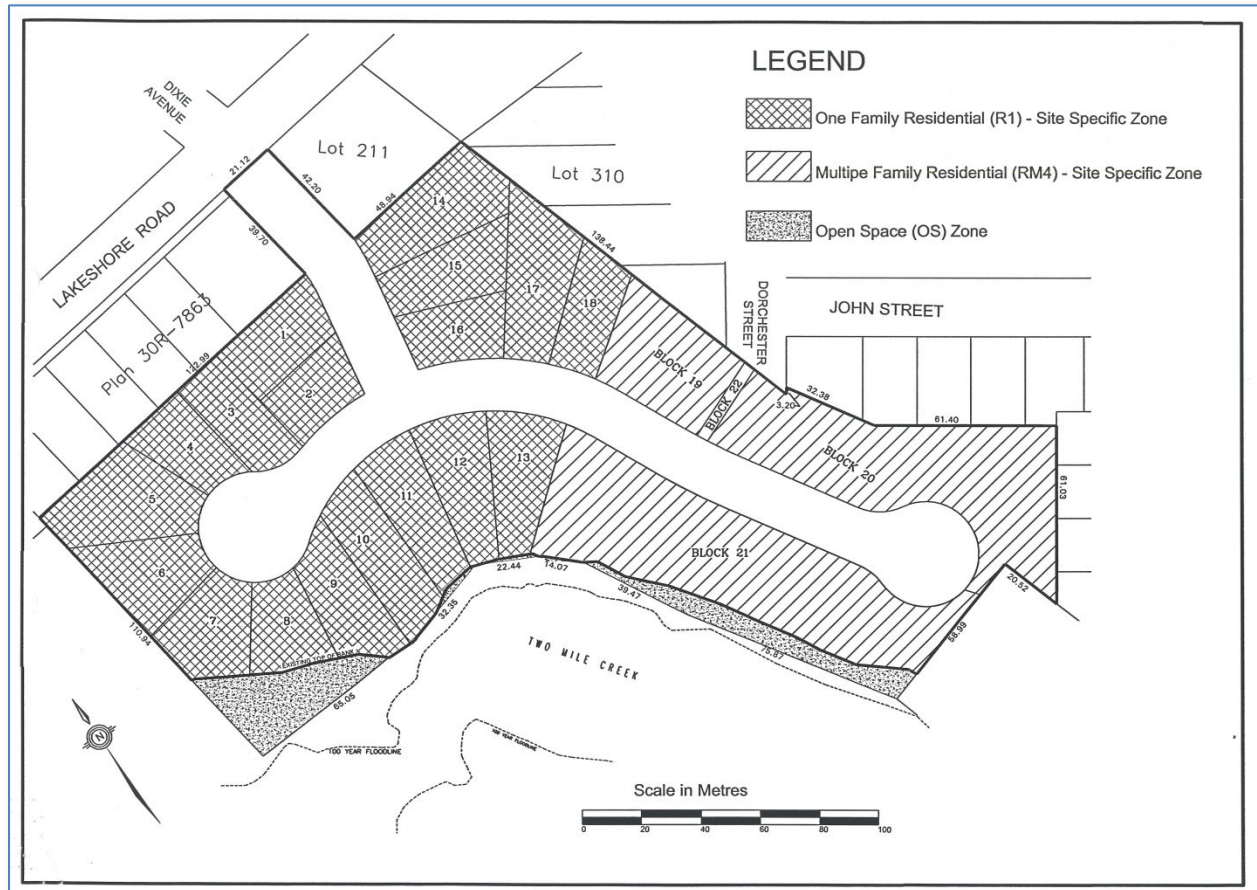
7.14.4.4 Notwithstanding anything contained in the Residential Multiple (RM1) Zone only one (1) storey townhouse dwelling unit or one (1) storey single detached dwelling shall be permitted where the lot directly abuts a property with a single detached dwelling existing at the time of passing of this By-law.

7.14.4.5 Uncovered patios, porches, decks, steps and balconies may encroach into a required rear yard setback to a maximum of 2.74 m, provided that they are not more than 0.6 m (2 ft) above grade measured at the rear of the dwelling when abutting residential uses and shall not exceed 2.74 m above grade measured at the rear of the dwelling when abutting along the ravine of Two Mile Creek, provided that a 7.5 m (24.6 ft) structural setback is maintained from Two Mile Creek top of bank for all structural developments on lots 7-13 and Block 21.

7.14.4.6 Parking Requirements shall be regulated in the Subdivider's Agreement.

7.14.4.7 Open Space (OS) Zone - Permitted Uses:
(a) No structural development is permitted

Figure 7.14.4F: 1897 Lakeshore Road, Butler's Creek Subdivision



7.14.5 The Wilderness – 407 King Street – See Schedule ‘A-1’ (ER-5)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands known as The Wilderness identified as ER-5 on Schedule ‘A-1’, the following permitted uses and zone requirements shall apply:

7.14.5.1 Permitted Uses:

- (a) accessory buildings and structures** in accordance with Section 6.1
- (b) bed and breakfast established** in accordance with Section 6.5
- (c) existing single detached dwelling**
- (d) home occupation or home profession** in accordance with Section 6.24

7.14.5.2 Zone Requirements:

(a)	Minimum lot frontage	as existing
(b)	Minimum lot area	as existing
(c)	Building setbacks	as existing

7.14.6 River Beach Townhouses – 35-45 Melville Street – See Schedule ‘A-1’ (RM1-6)

Notwithstanding the provisions of the Residential Multiple (RM1) Zone, for lands known as the River Beach Townhouse development, identified as RM1-6 on Schedule ‘A-1’ and shown on Figure 7.14.6F below, only the following permitted uses and zone requirements shall apply:

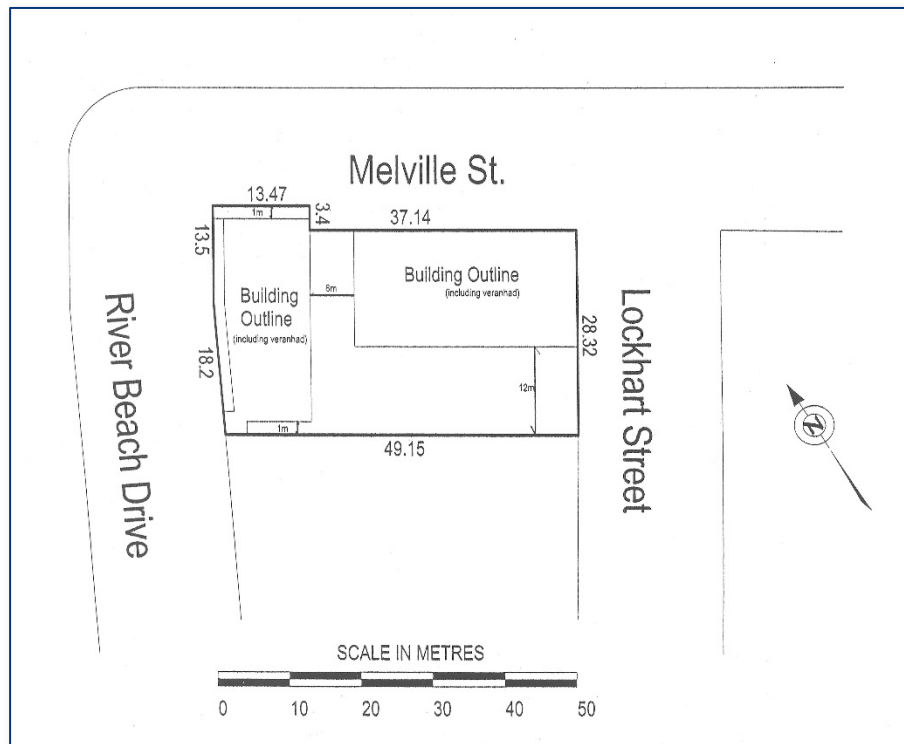
7.14.6.1 Permitted Uses:

- (a) eleven (11) *townhouse dwellings*
- (b) *home occupation or home profession* in accordance with Section 6.24

7.14.6.2 Zone Requirements:

(a)	Minimum lot frontage	28 m (91.86 ft)
(b)	Minimum lot depth	49 m (160.76 ft)
(c)	Minimum lot area	1450 m ² (15608.18 ft ²)
(d)	Maximum lot coverage	55%
(e)	Maximum building height from existing grade	10 m (32.8 ft)
(f)	Minimum setback for parking areas along interior side lot line	0.0 m (0 ft)

Figure 7.14.6F: 35-45 Melville Street, River Beach Townhouses



7.14.7 433 King Street (Brockamour Manor), 328 Queen Street, 287 Davy Street – See Schedules ‘A-1’ & ‘A-3’ (ER-7)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as ER-7 on Schedules ‘A-1’ & ‘A-3’, the following permitted uses shall apply:

7.14.7.1 Permitted Uses:

- (a) *home occupation or a home profession* in accordance with Section 6.24
- (b) *single detached dwelling*
- (c) *six (6) room Country Inn* in accordance with Section 6.10

7.14.8 493 Regent Street – See Schedule ‘A-1’ (ER-8)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as ER-8 on Schedule ‘A-1’, the following permitted uses shall apply:

7.14.8.1 Permitted Uses:

- (a) *five (5) room Country Inn* in accordance with Section 6.10
- (b) *home occupation or a home profession* in accordance with Section 6.24
- (c) *single detached dwelling*

7.14.9 242 Simcoe Street – See Schedule ‘A-1’ (ER-9)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as ER-9 on Schedule ‘A-1’, the following permitted uses and zone requirements shall apply:

7.14.9.1 Permitted Uses:

- (a) five (5) room *Country Inn* in accordance with Section 6.10
- (b) *home occupation or a home profession* in accordance with Section 6.24
- (c) *single detached dwelling*

7.14.9.2 Zone Requirements:

(a)	Minimum lot frontage	16.4 m
(b)	Minimum rear yard setback of dwelling	1.52 m (5 ft)
(c)	Minimum exterior side yard setback of dwelling	3.04 m (9.97 ft)
(d)	Minimum exterior side yard setback of shed	0.6 m (2 ft)
(e)	Minimum exterior side yard setback of change house	0 m
(f)	The existing pool, shed and change house shall be permitted within the existing front yard setback of the dwelling at 242 Simcoe Street	
(g)	Seven (7) parking spaces for the Country Inn shall be permitted in the existing front yard of the dwelling at 242 Simcoe Street	
(h)	<p>The use of the existing pool shall not be permitted for guests of the Country Inn permitted herein, and shall be subject to the following:</p> <ul style="list-style-type: none"> (1) The pool must meet the standards set in <i>Public Pool Regulation Health Protection and Promotion Act</i> prior to opening; (2) The owner shall obtain and maintain in force at all times an insurance policy with public liability coverage limits of at least two million dollars (CDN \$2,000,000.00) per occurrence wherein the Town is a named insured with respect to any and all claims arising from the use of the pool on the Owner’s property. The owner shall provide proof of such insurance from time to time promptly upon receipt of a written request from the Town. The Owner covenants and hereby agrees that he shall indemnify and hold harmless the Town from any and all claims, actions causes of action, costs, losses or damages of every nature arising from the use of the pool on the Owner’s property; (3) The Owner shall erect fencing, locks and signage sufficient to prevent guests from using the pool. 	

7.14.10 170 Mary Street – See Schedule ‘A-1’ (ER-10)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as ER-10 on Schedule ‘A-1’, the following permitted uses shall apply:

7.14.10.1 Permitted Uses:

- (a) *single detached dwelling*
- (b) ten (10) room *Country Inn* in accordance with Section 6.10

7.14.11 10 Front Street (Old Bank House) – See Schedule ‘A-1’ (ER-11)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as ER-11 on Schedule ‘A-1’, the following permitted uses shall apply:

7.14.11.1 Permitted Uses:

- (a) nine (9) room *Country Inn* in accordance with Section 6.10
- (b) *single detached dwelling*

7.14.12 95 Johnson Street – See Schedule ‘A-1’ (ER-12)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as ER-12 on Schedule ‘A-1’, the following permitted uses and zone requirements shall apply:

7.14.12.1 Permitted Uses:

- (a) five (5) room *Country Inn* in accordance with Section 6.10
- (b) *home occupation or home profession* in accordance with Section 6.24
- (c) *single detached dwelling*

7.14.12.2 Zone Parking Requirements:

- (a) A minimum of eight (8) parking spaces shall be provided on-site at the rate of:
 - (1) One (1) space per each guest room
 - (2) Two (2) spaces per dwelling unit
 - (3) One (1) space per employee
- (b) Stacked parking is not permitted

7.14.13 105 Johnson Street – See Schedule ‘A-1’ (ER-13)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as ER-13 on Schedule ‘A-1’, the following permitted uses shall apply:

7.14.13.1 Permitted Uses:

- (a) four (4) room *bed and breakfast* operation which is to be operated by an owner who is also a resident of the property

- (b) *home occupation or a home profession* in accordance with Section 6.24
- (c) *single detached dwelling*

7.14.13.2 Zone Requirements:

(a)	Front yard setback (for existing dwelling)	2.37 m (7.8ft)
(b)	South easterly side yard setback (for existing dwelling)	0.80 m (2.94 ft)
(c)	Parking area setback from front lot line	1.524 m (5 ft)

7.14.14 184 Queen Street – See Schedule ‘A-1’(ER-14)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as ER-14 on Schedule ‘A-1’, the following permitted uses shall apply:

7.14.14.1 Permitted Uses:

- (a) *country inn* with a maximum of six (6) guest rooms which is to be operated by the owner who must also be a resident of the property
- (b) *home occupation or home profession* in accordance with Section 6.24
- (c) *single detached dwelling*

7.14.15 School of Philosophy (144 - 176 John Street) – See Schedule ‘A-2’ (ER-15)

Notwithstanding the provisions of the Established Residential (ER) Zone as identified as ER-15 on Schedule ‘A-2’, the following permitted uses and zone requirements shall apply:

7.14.15.1 Permitted Uses:

- (b) *private school (as amended by 4316J-11)*
- (a) *single detached dwelling*

7.14.15.2 Zone Requirements:

(a)	Maximum lot coverage	5%
(b)	All other provisions of the Established Residential (ER2) Zone continue to apply	

7.14.16 289 Ricardo Street - See Schedule ‘A-1’ (ER-16)

Notwithstanding the provisions of the “One Family Residential (R1) Zone, the following provisions shall apply to those lands identified as ER-16 on Schedule ‘A-1’ and shown on Figure 7.14.16F below:

7.14.16.1 Zone Requirements:

PART 1: MAIN BUILDING		
(a)	Minimum lot frontage	18.29 m (60 ft)
(b)	Maximum lot coverage	33%
(c)	Minimum front yard setback	29.0 m (95.1 ft)
(d)	Minimum rear yard setback <i>[measured from north limit of Part 4]</i>	15.0 m (49.2 ft)
(e)	Minimum side yard setback (East Side)	3.05 m (10 ft)
(f)	Minimum side yard setback (West Side)	6.1 m (20 ft)
(g)	Maximum building height.	existing

PART 2:		
(a)	Minimum lot frontage	19.04 m (62.4 ft)
(b)	Maximum lot coverage	38%
(c)	Minimum front yard setback	19.0 m (62.4 ft)
(d)	Minimum rear yard setback <i>[measured from north limit of Part 4]</i>	15.0 m (49.2 ft)
(e)	Minimum side yard setback (East Side)	1.5 m (5 ft)
(f)	Minimum side yard setback (West Side)	3.05 m (10 ft)
(g)	Maximum building height	9.75 m (32 ft)

PART 3:		
(a)	Minimum lot frontage	15.21 m (49.9 ft)
(b)	Maximum lot coverage	45%
(c)	Minimum front yard setback	20.0 m (65.6 ft)
(d)	Minimum rear yard setback <i>[measured from north limit of Part 4]</i>	15.0 m (49.2 ft)
(e)	Minimum side yard setback (East Side)	1.5 m (5 ft)
(f)	Minimum side yard setback (West Side)	1.5 m (5 ft)
(g)	Maximum building height.	9.14 m (30 ft)

Notwithstanding the provisions of Section 6.1 Accessory Uses, paragraph (b), a detached garage may be located in front of the front line of the building on lands identified as Part 1, Part 2, and Part 3 on the following sketch, and shall be subject to the following provisions:

Part 1

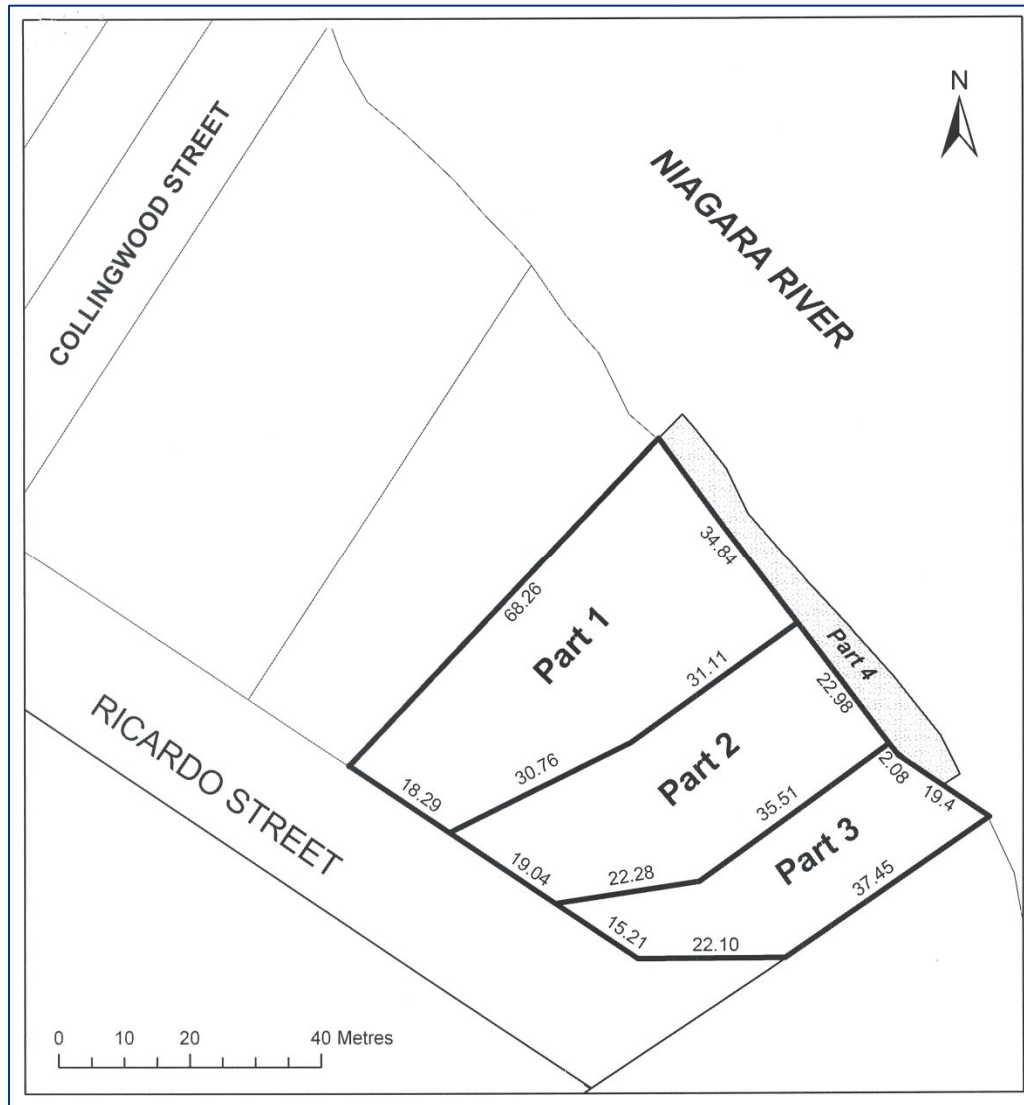
- (a) Setback a minimum distance of 15.24 m (50 ft) from the front line of the property line.

- (b) Setback a minimum distance of 1.5 m (5 ft) from the side lot line.

Part 2 & Part 3

- (a) Setback a minimum distance of 6.1 m (20 ft) from the front property line.
- (b) Setback a minimum distance of 1.5 m (5 ft) from the side lot line.

Figure 7.14.16F: 289 Ricardo Street



7.14.17 575 Simcoe Street – Copperfield Subdivision - See Schedule 'A-2' (R2-17) & (RM1-17)

Notwithstanding the provisions of the Residential (R2) Zone and the Residential Multiple (RM1) Zone), for lands identified as (R2-17) & (RM1-17) on Schedule 'A-2', the following zone requirements shall apply:

7.14.17.1 Permitted Uses – R2-17:

- (a) *maximum number of units.....4*

7.14.17.2 Zone Requirements – R2-17:

(a)	Minimum building setback from Mississagua Street	7.6 m (24.93 ft)
(b)	Minimum building setback from south lot line	3.5 m (11.48 ft)
(c)	Minimum building setback from northeast and southwest lot line	2.78 m (9 ft)
(d)	Minimum lot depth	25.9 m (85 ft)
(e)	Maximum building height to peak of roof	9.7 m (32 ft)

7.14.17.3 Only Permitted Uses – RM1-17:

- (a) *maximum 14 multiple family dwelling units*

7.14.17.4 Zone Requirements – RM1-17:

(a)	All dwelling units must have a garage attached to form part of each dwelling unit.	
(b)	Minimum frontage	9 m (29.53 ft)
(c)	Minimum lot depth	23.0 m (75.46 ft)
(d)	Minimum lot area	210 m ² (2260.49 ft ²)
(e)	Minimum front yard setback	0.95 m (3.12 ft)
(f)	Minimum rear yard setback	7.62 m (25 ft)
(g)	Minimum interior side yard setback: north & south	0 m (0 ft)
(h)	Minimum exterior side yard setback	2 m (6.56 ft)
(i)	Maximum lot coverage	60%
(j)	The lots shown as RM1-17 on Schedule A-2 shall be considered to have frontage on a public road being the interior private roadway for the purpose of setback requirements.	
(k)	An unenclosed and uncovered porch, patio, deck, balcony or steps may project into any required front or rear yard a maximum distance of 2.5 m (8.2 ft) and 3.5 m (11.48 ft) in a required side yard provided that in the case of a porch or steps, such uses are not more than 1.8 m (5.9 ft) above grade.	

7.14.18 153 King St. Niagara Masonic Hall – (Roll # 3-163) - See Schedule 'A-1' (I-18)

Notwithstanding the provisions of the Institutional (I) Zone, for lands identified as (I-18) on Schedule 'A-1', the following permitted secondary uses and zone requirements shall apply:

7.14.18.1 Permitted secondary uses in association with and secondary to the main use of the lands:

- (a) all *secondary uses* shall not exceed a maximum floor area of 67.88 m² (730.75 ft²)
- (b) *art Gallery*
- (c) *business or Professional Office*

7.14.18.2 Zone requirements:

(a)	Minimum lot area	632.18 m ² (6,805 ft ²)
(b)	Minimum frontage	19.80 m (64.99 ft)
(c)	Minimum depth	31.87 m (104.58 ft)
(d)	Maximum lot coverage	38%
(e)	Minimum front yard setback (king street)	0 m
(f)	Minimum exterior side yard setback	0 m
(g)	Minimum interior side yard setback	0.91 m (3 ft)

7.14.19 85 Melville Street – (Roll # 1-225) - See Schedule 'A-1' (MC-19)

Notwithstanding the provisions of the Marine Commercial (MC) Zone regarding the lands and buildings located at 85 Melville, only the following use shall be permitted on the lands identified at Figure 7.14.19F below and shown as MC-19 on Schedule 'A-1':

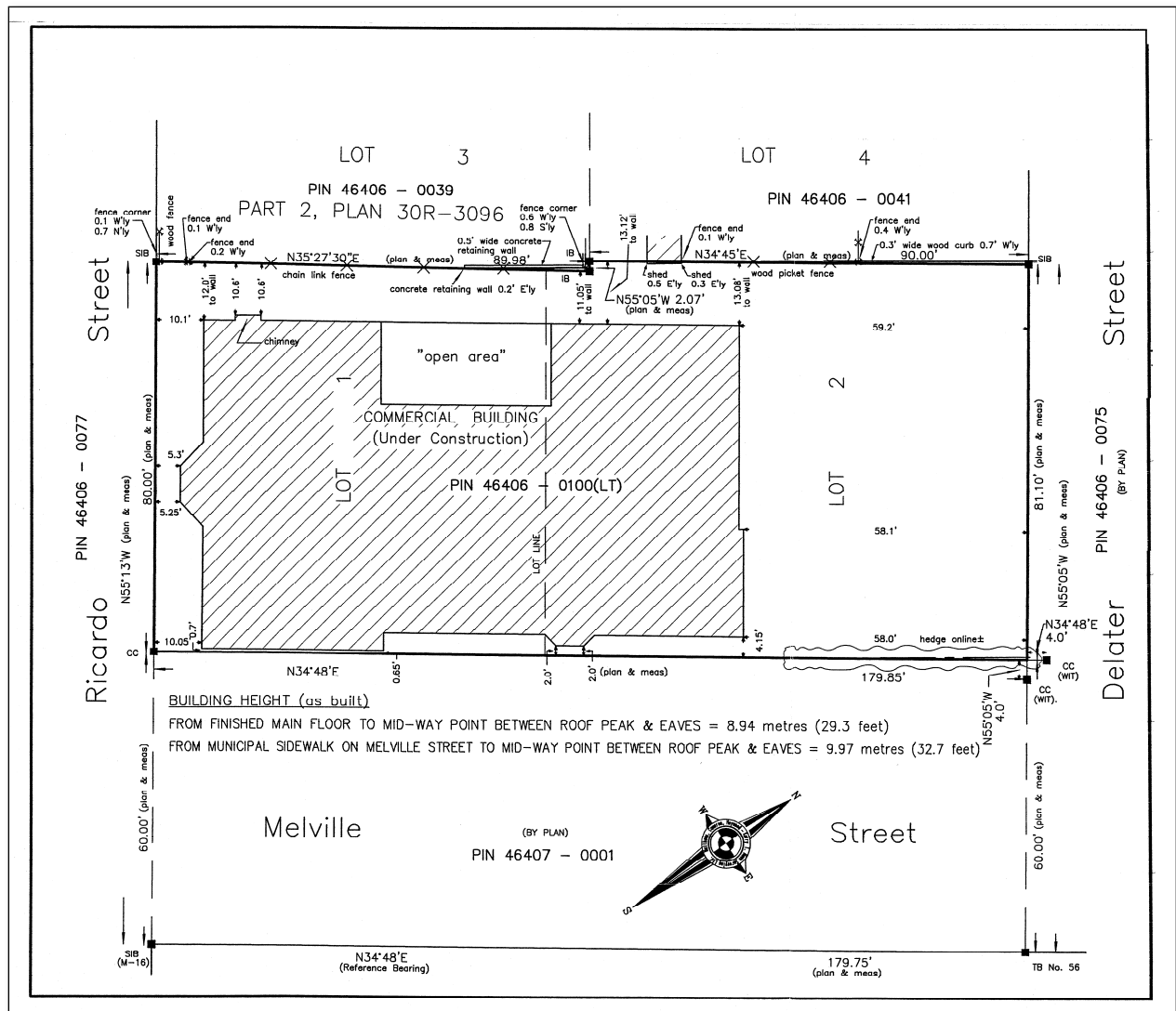
7.14.9.1 Permitted Use:

- (a) *hotel* with private breakfast room, but not including a restaurant or patio open to the public.

7.14.19.2 Zone Requirements:

(a)	Minimum yard setback from Melville Street	0 m (0 ft)
(b)	Minimum yard setback from Delater Street	17.67 m (58 ft)
(c)	Minimum yard setback from Ricardo Street	1.52 m (5 ft)
(d)	Minimum yard setback from any property line abutting a residential use	3.65 m (12 ft)
(e)	The setback for that portion of the hotel nearest to the point of intersection between the boundaries of Lots 2, 3 and 4 of Plan M-16 shall be 3.35 m (11 ft)	
(f)	A loading space shall not be required for the hotel use.	

Figure 7.14.19F: 85 Melville Street



7.14.20 16, 16½ and 18 Circle Street (Chautauqua Amphitheatre) – Roll # 7-004 – See Schedule 'A-3' (ER2-20)

Notwithstanding the provisions of the Established Residential (ER) Zone for lands identified as (ER2-20) on Schedule 'A-3', the following provisions shall apply:

7.14.20.1 Lot Requirement for 16 and 16½ Circle St. (combined):

(a)	Minimum lot area	462.6 m ² (4980 ft ²)
(b)	Minimum lot frontage	14.7 m (48.5 ft)
(c)	Minimum lot depth	33.8 m (111 ft)

(b)	Maximum lot coverage	as existing on the date of passing of this By-law
-----	----------------------	---

7.14.20.2 Building Setbacks for 16 Circle St.:

(a)	Minimum front yard setback	as existing on the date of passing of this By-law
(b)	Minimum rear yard setback	as existing on the date of passing of this By-law
(c)	Minimum side yard setback	as existing on the date of passing of this By-law

7.14.20.3 Building Setbacks for 16½ Circle Street:

(a)	Minimum front yard setback	as existing on the date of passing of this By-law
(b)	Minimum rear yard setback	as existing on the date of passing of this By-law
(c)	Minimum side yard setback	as existing on the date of passing of this By-law

7.14.20.4 Lot and Building Requirements for 18 Circle St.

(a)	Minimum lot area	380.4 m ² (4095 ft ²)
(b)	Minimum lot frontage	17.2 m (56.5 ft)
(c)	Minimum lot depth	29.2 m (96 ft)
(d)	Minimum front yard setback	as existing on the date of passing of this By-law
(e)	Minimum rear yard setback	as existing on the date of passing of this By-law
(f)	Minimum side yard setback	as existing on the date of passing of this By-law
(g)	Minimum side yard setback of existing shed	0.9 m (3 ft)
(h)	Maximum lot coverage	as existing on the date of passing of this By-law

7.14.20.5 Any future development or redevelopment of 16, 16½ and 18 Circle St. shall be subject to the provisions of the Established Residential (ER2) Zone.

7.14.21 1875 Lakeshore Road – Avalon Place (Roll # 8-263-8 & 8-280-1) – See Schedule ‘A-3’ (R2-21)

Notwithstanding the provisions for the Residential (R2) Zone for lands identified as (R2-21) on Schedule 'A-3', the following special provisions shall apply:

7.14.21.1 Permitted Uses:

- (a) *semi-detached dwellings*
- (b) *single detached dwellings*

7.14.21.2 Prohibited Uses:

- (a) the use of the property for a *bed and breakfast* and / or a *home occupation* is prohibited.

7.14.21.3 Zone Requirements:

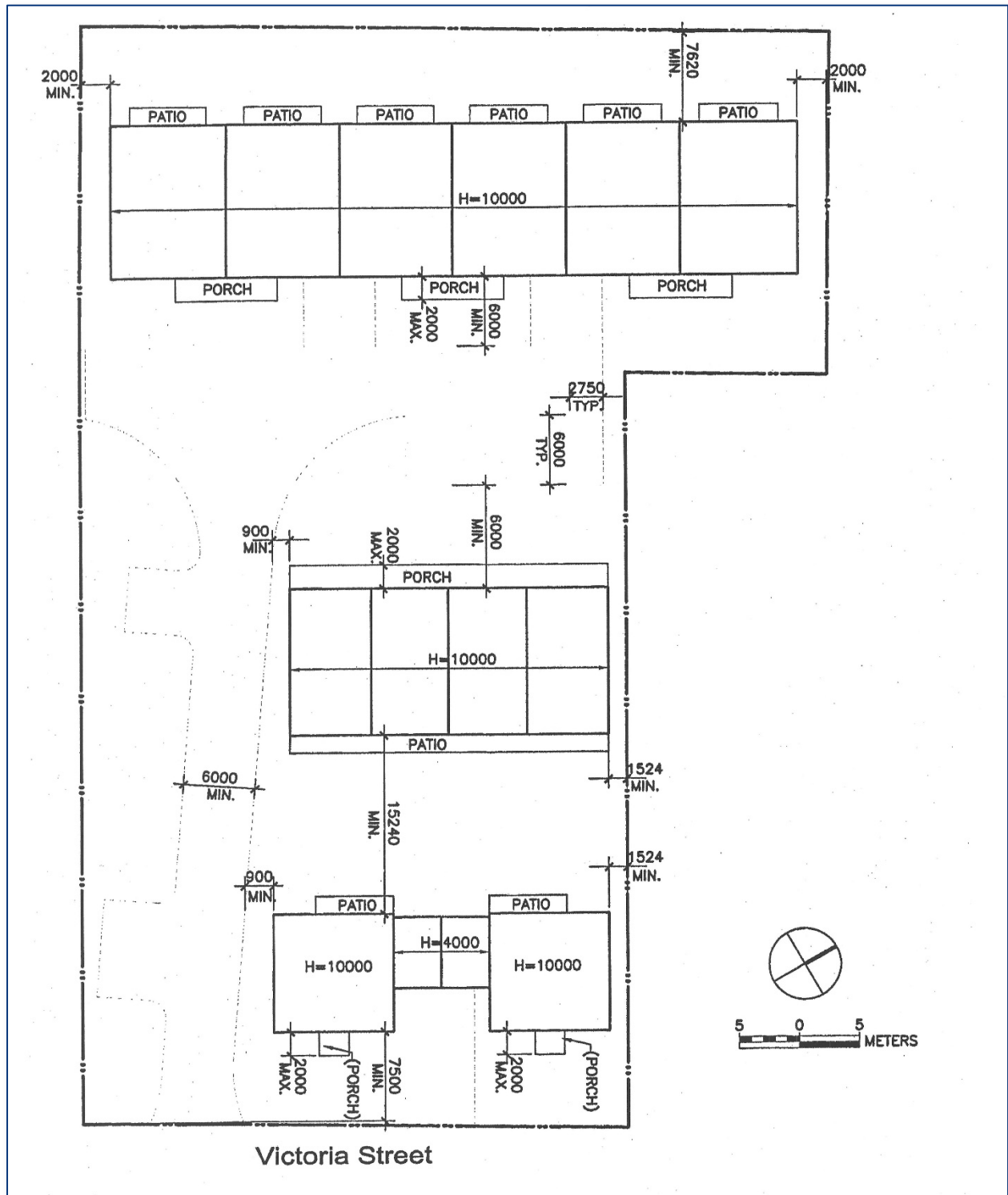
(a)	Maximum number dwelling units	7 dwelling units to be comprised of four (4) semi-detached units and three (3) single detached units
(b)	Minimum lot frontage per unit	5.9 m (19.4 ft.)
(c)	Minimum lot area per unit	292 m ² (3143.2 ft ²)
(d)	Minimum lot depth	17.8 m (65.6 ft.)
(e)	Minimum front yard setback from condominium unit line	1.68 m (5.5 ft.)
(f)	Minimum distance between detached units	2.4 m (8.9ft.)
(g)	Side yard setbacks for common walls	0 m (0 ft)
(h)	Maximum building height to peak of roof	10 m (32.8 ft)
(i)	Units limited to one (1) storey in height with optional loft	Unit 1 & 4
(j)	Maximum lot coverage per individual unit	50%
(k)	Total maximum building coverage for site	20%
(l)	Minimum landscaped open space per unit	40% of the lot area
(m)	Minimum unit floor area	100 m ² (1076 ft ²)
(n)	Minimum parking requirement	2 spaces per unit; only one (1) space may be stacked behind a required parking space.
(o)	All structural development must be setback a minimum of 7.5 m (24.6 ft.) from the existing top of bank.	

7.14.22 481 Victoria Street (Roll # 4-174) – See Schedule 'A-1' (RM1-22)

Notwithstanding the provisions of the Residential Multiple (RM1) Zone, the lands identified as (RM1-22) on Schedule 'A-1' and shown on Figure 7.14.22F below, the following special provisions shall apply:

- 7.14.22.1 The lands shall be limited in use to a maximum of:
 - (a) Ten (10) *row house dwellings* and one (1) *semi-detached dwelling*; or
 - (b) Ten (10) row house dwellings and two (2) single family dwellings
- 7.14.22.2 Development of the lands will not exceed a residential net density of twelve (12) units per acre (thirty (30) units per hectare).
- 7.14.22.3 Building setbacks from property lines, driveways and between buildings shall be in accordance with Figure 4 below.
- 7.14.22.4 Building coverage shall be limited to a maximum of twenty-eight per cent (28%) of the area of the site.
- 7.14.22.5 The paved area shall be limited to a maximum twenty-four per cent (24%) of the area of the site.
- 7.14.22.6 Landscaped open space shall be a minimum of forty-eight (48%) of the area of the site.
- 7.14.22.7 A minimum of eighteen (18) off-street parking spaces shall be provided at a minimum rate of 1.5 spaces per unit.
- 7.14.22.8 Accessory buildings are permitted, provided they are directly associated with the individual dwelling unit, are located behind the front of the dwelling, does not exceed 6 m (19.69 ft) in area, does not exceed a height of 3.0 m (9.84 ft) and are set back 0.5 m (1.64 ft) from any property boundary.
- 7.14.22.9 Outdoor patios are permitted to a maximum height of 1 m (3.28 ft) from grade and not exceeding 10 m² (107.64 ft²) in area.
- 7.14.22.10 Unenclosed and covered porches are permitted to encroach into a required front yard to a maximum of 2 m (6.56 ft).
- 7.14.22.11 The maximum building height to the peak of the roof shall not be greater than 10 m (32.8 ft).
- 7.14.22.12 Maximum building height shall be 10 m for all buildings except a maximum building height of 4 m for the garages along Victoria Street.
- 7.14.22.13 Minimum condominium driveway width shall be 6.0 m (19.69 ft).

Figure 7.14.22F: 481 Victoria Street



7.14.23 175 Queen Street (Roll # 4-042) – See Schedule ‘A-1’ (RM1-23)

Notwithstanding the provisions of the Residential (RM1) Zone, for the lands identified as (RM1-23) on Schedule ‘A-1’, only the following uses are permitted:

7.14.23.1 Permitted Uses:

- (a) one *single detached dwelling* with one *accessory building*
- (b) six *row house dwellings*

7.14.23.2 Zone Requirements:

(a)	Maximum lot coverage for development	36%
(b)	Maximum building height of unit 1	existing, plus the height of any new foundation to a maximum of 8 inches.
(c)	Maximum building height of units 2 to 6	minimum of 0.304 m (1 ft) less than unit 1
(d)	Maximum building height of unit 7	existing
(e)	Maximum number of storeys unit 1 to 6	2
(f)	Maximum number of storeys for unit 7	1½
(g)	Maximum height of accessory building to the midpoint of the peak of the roof and eaves	4.5 m (14.76 ft)
(h)	Minimum number of parking spaces	14, 2 parking spaces may be stacked per unit
(i)	Unenclosed, uncovered patios, decks or balconies are permitted	
(j)	Outdoor garbage/recycling storage is not permitted	

7.14.24 271 - 275 Mary St. and 450 Butler St. – See Schedule ‘A-3’ (GC-24)

Notwithstanding the provisions of the General Commercial (GC) Zone, for the lands identified as (GC-24) on Schedule ‘A-3’, only the following uses are permitted:

7.14.24.1 Permitted Uses:

- (c) four unit *residential building* with each unit having a separate private entrance at grade level
- (b) *retail use*
- (a) *restaurant*

7.14.24.2 Notwithstanding the provisions of the screening requirements of the General Commercial (GC) Zone, the following shall apply:

- (a) A continuous wood fence not less than 1.83 m (6 ft) in height is permitted in lieu of a continuous hedgerow in the required 3.05 m (10 ft) planting

strip -- storm water works are permitted within the 3.05 m (10 ft) planting strip

- (b) Parking spaces associated with the four unit residential building shall be permitted to locate 0 m (0 ft) from the west property line flanking Butler Street

7.14.25 Simcoe Street & Johnson Street (Lots 1-7) - Peaceacres Subdivision – See Schedule ‘A-1’ (ER-25)

Notwithstanding the provisions of the Established Residential (ER) Zone, for the lands identified as (ER-25) on Schedule ‘A-1’ and shown on Figure 7.14.25F below, the following special provisions shall apply:

7.14.25.1 Zone Requirements:

(a)	Minimum lot frontage for Lots 1, 2, 3 & 5	23.72 m (77.8 ft)
(b)	Minimum lot frontage for Lot 4	16.47 m (54.0 ft)
(c)	Minimum lot area	820 m ² (8,826.7.ft ²)
(d)	Minimum lot depth	48 m (157.5 ft)
(e)	Maximum lot coverage	33%
(f)	Maximum total floor area of dwelling per lot	603.85 m ² (6500 ft ²)
(g)	Minimum front yard setback: (1) Lot 1 from Johnson Street (2) Lot 2 (3) Lot 3 (4) Lot 4 (5) Lot 5	 7.62 m (25 ft) 2.13 m (6.9 ft) 9.14 m (29.9 ft) 1.0 m (3.28 ft) 3.05 m (10 ft)
(h)	Minimum interior side yard setback: (1) Lot 1 (2) Lot 2 east side Lot 2 west side (3) Lot 3 east side Lot 3 west side (4) Lot 4 north side Lot 4 south side (5) Lot 5	 3.05 m (10 ft) 2.13 m (6.9 ft) 4.57 m (15 ft) 3.05 m (10 ft) 2.13 m (6.9 ft) 0.55 m (1.8 ft) 2.13 m (6.9 ft) 2.13 m (6.9 ft)
(i)	Minimum exterior side yard setback: (1) Lot 1 from Mississagua Street	 6.096 m (20 ft)
(j)	Minimum rear yard setback:	

	(1) Lot 1	10.67 m (35 ft)
	(2) Lot 2	16 m (52.5 ft)
	(3) Lot 3	10.67 m (35 ft)
	(4) Lot 4	10.67 m (35 ft)
	(5) Lot 5	16 m (52.5 ft)
(k)	Maximum number of stories	2
(l)	Minimum building height	7.3 m (23.9 ft)
(m)	Where the dwelling has an attached garage with the garage door perpendicular to street frontage, the following minimum front yard setbacks are required for the attached garage portion:	
	(1) Lot 1 from Johnson Street	7.62 m (25 ft)
	(2) Lot 2	2.13 m (6.9 ft)
	(3) Lot 3	9.14 m (29.9 ft)
	(4) Lot 4	1.0 m (3.28 ft)
	(5) Lot 5	3.05 m (10 ft)
(n)	Where the dwelling has an attached garage with the garage door parallel to street frontage, the minimum front yard setback to the garage portion shall be 6.7 m (22 ft).	

Figure 7.14.25F: Peace Acres Subdivision, Simcoe & Johnson Streets



7.14.26 450 Nassau St. (previously 432 Nassau St & 375 - 377 Mary Street) – See Schedule ‘A-3’ (RM1-26)

Notwithstanding the provisions of the Residential Multiple (RM1) Zone, for the lands identified as (RM1-26) on Schedule ‘A-3’ and shown on Figure 7.14.26F below, only the following uses are permitted:

7.14.26.1 Permitted Uses – 450 Nassau Street:

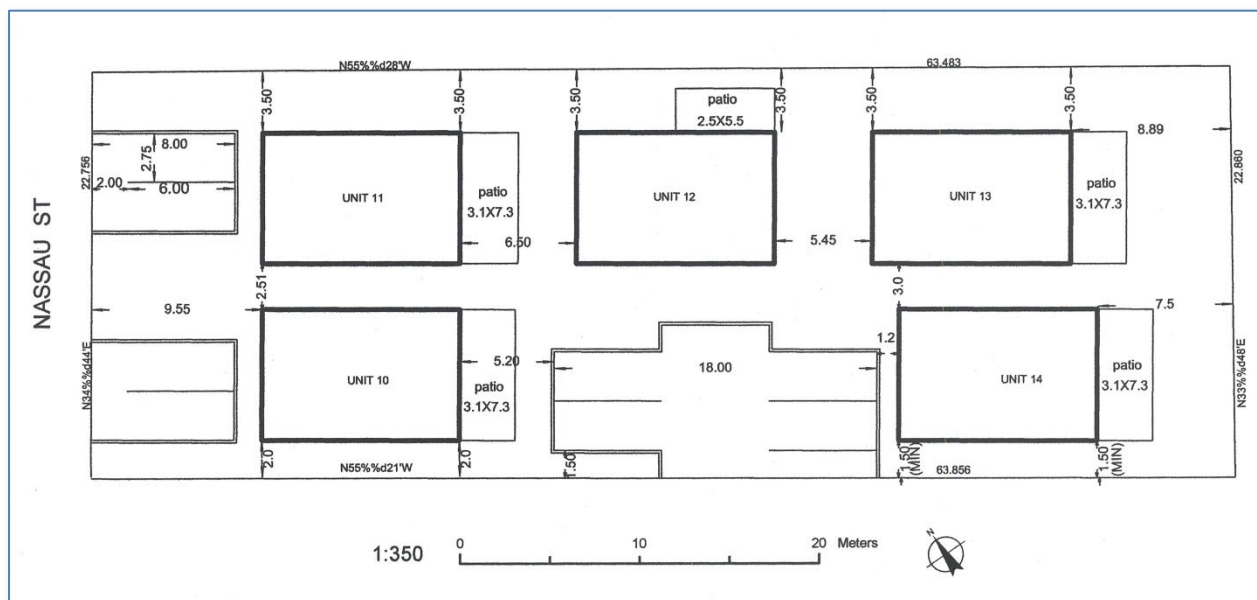
- (a) five single detached family dwellings

7.14.26.2 Zone Requirements – 450 Nassau Street:

(a)	Maximum building area	465 m ² (5005.38 ft ²)
(b)	Maximum lot coverage for development	33%
(c)	Minimum lot frontage	22.76 m (74.66 ft)
(d)	Minimum lot depth	63.0 m (206.69 ft)

(e)	Minimum separation between units		2.4 m (7.87 ft)
(f)	Minimum front yard setback		7.5 m (24.6 ft)
(g)	Minimum rear yard setback		7.5 m (24.6 ft)
(h)	Minimum southerly side yard setback		1.5 m (5 ft)
(i)	Minimum northerly side yard setback		3.5 m (11.48 ft)
(j)	Maximum building to top of ridge		8.6 m (28.22 ft)
(k)	Maximum number of storeys		2
(l)	Maximum individual unit size		93.0 m ² (1001 ft ²)
(m)	Minimum number of parking spaces	8 in a location set out in the following diagram	
(n)	Parking area setback	0 m in the southerly side yard	
(o)	Side yard projections	an unenclosed or uncovered patio may project into the northerly side yard by a maximum distance of 2.5 m (8.2 ft)	

Figure 7.14.26F: 450 Nassau Street



7.14.26.3 Zone Requirements – 375-377 Mary Street:

(a)	Minimum lot area	0.26 ha (0.64 ac)
(b)	Minimum front yard setback (Nassau Street)	7.5 m (25 ft)
(c)	Minimum exterior side yard setback (end units)	1.5 m (5 ft)
(d)	Minimum interior side yard setback to lot line	1.5 m (5 ft)
(e)	Minimum interior side yard setback for shared walls	0 m (0 ft)

(f)	Minimum rear yard setback	7.5 m (25 ft)
(g)	Maximum lot coverage	26%
(h)	Maximum building height (to peak of roof)	7.6 m (24.93 ft)
(i)	Maximum number of dwelling units	9
(j)	An unenclosed and uncovered porch, deck, balcony, patio or steps may project into any required rear or side yard maximum distance of 3.05 m (10 ft), provided that in the case of a porch or steps such uses are not more than 1.8 m (5.9 ft) above grade.	

7.14.27 651 Simcoe St. (Roll # 3-196), Part Lot 13, Plan 692, Meritage Estates – See Schedule ‘A-2’ (R1-27)

Notwithstanding the provisions of the Residential (R1) Zone, for the lands identified as (R1-27) on Schedule ‘A-2’ and shown on Figure 7.14.27F below, the following special provisions shall apply:

7.14.27.1 Permitted Uses:

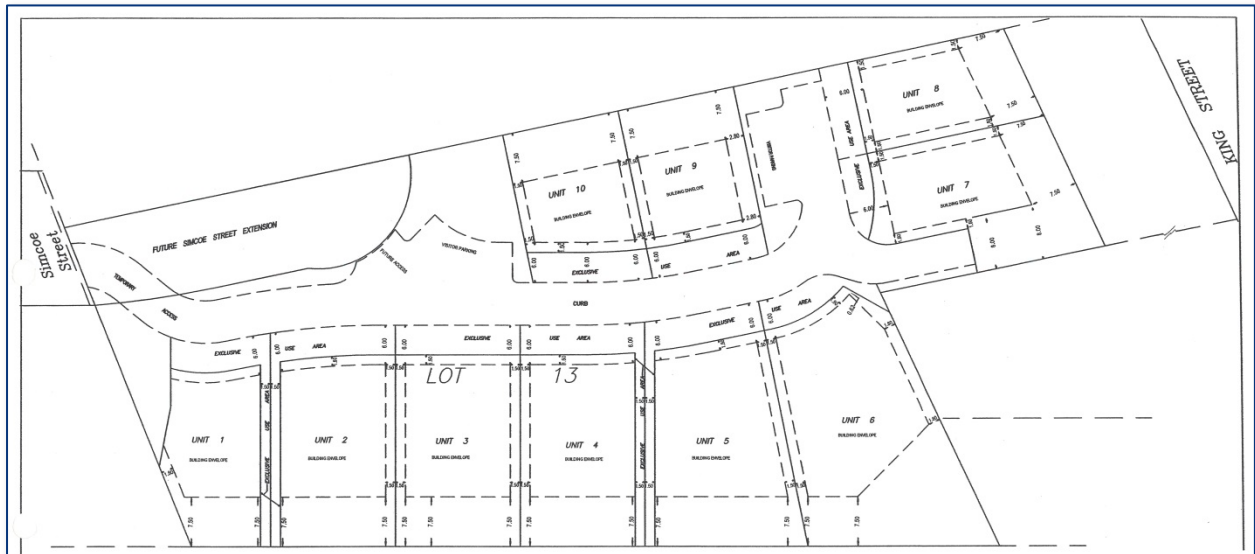
- (a) *single detached residential dwellings*

7.14.27.2 Zone Requirements

(a)	Entire development:	
	(1) Minimum lot area of development	0.78ha (1.92ac)
	(2) Maximum number of dwelling units for development	10
	(3) Maximum lot coverage for development	36.1%
(b)	Zone requirements per unit:	
	(1) Minimum lot frontage per unit	12 m (40 ft.)
	(2) Minimum lot depth per unit	17 m (55 ft.)
	(3) Minimum lot area per unit	353 m ² (3799ft ²)
(c)	Maximum lot coverage per unit area:	
	(1) Units 2, 3, 5, 6 & 7	33%
	(2) Unit 4	35%
	(3) Unit 8	36%
	(4) Units 9 & 10	40%
	(5) Unit 1	45%
(d)	Maximum building height (to top of ridge)	9.14 m (30 ft)
(e)	Maximum number of storeys	2
(f)	Minimum front, side & rear yard setbacks as per Figure 7 below	

- | | |
|-----|--|
| (g) | The lands identified as R1-27 on Schedule 'A-2' shall be exempt from the "Public Street Frontage Required" of Section 6.45, and the ten (10) lots shall be considered to have frontage on a public street being the interior private roadway for the purpose of establishing setback requirements. |
|-----|--|

Figure 7.14.27F: 651 Simcoe Street (Now Meritage Estates)



7.14.28 245 King Street – See Schedule 'A-1' (QPC-28)

Notwithstanding the provisions of the Queen Picton Commercial (QPC) Zone, for the lands identified as (QPC-28) on Schedule 'A-1', the following special provisions shall apply:

7.14.28.1 Permitted Uses:

- (a) existing four room *hotel* and *restaurant*

7.14.29 75 Queen Street – See Schedule 'A-1' (QPC-29)

Notwithstanding the provisions of the Queen Picton Commercial (QPC) Zone, for the lands identified as (QPC-29) on Schedule 'A-1', the following special provisions shall apply:

7.14.29.1 Permitted Uses:

- (a) *commercial uses* shall be limited to the main floor

7.14.29.1 Zone Requirements:

(a)	Maximum building height to top of ridge	9.1 m (30 ft)
-----	---	---------------

(b)	Minimum individual residential unit size	51.65 m ² (556 ft ²)
(c)	West side yard	0.3 m (1.0 ft)

7.14.29.3 Notwithstanding the Screening Requirements of the Queen Picton Commercial (QPC) Zone, the following screening requirements apply:

Screening Requirements:

Where the side or rear lot lines abut a residential zone a strip of land on the lot adjoining such abutting lot line shall be used for a landscaping strip in accordance with the following:

(a)	<u>Width</u> Land required to be used as a landscaping strip shall be of minimum widths as follows:	
	(1) Along the north property line	4.1 m (13.5 ft)
	(2) Along the east property line	2.9 m (9.51 ft)
	(3) Along the south property line	1.5 m (5 ft)
(b)	<u>Contents</u> The landscaping strips shall be used primarily for the planting of trees and shrubs, and a solid wooden board fence not less than 1.83 m (6 ft) in height shall be located along the lot lines where the planting strips are required.	

7.14.30 323 Mary Street – Upper Canada Animal Hospital - See Schedule 'A-3' (GC-30)

Notwithstanding the provisions of the General Commercial (GC) Zone, for the lands identified as (GC-30) on Schedule 'A-3', only the following uses are permitted:

7.14.30.1 Permitted Uses:

- (a) *animal hospital*
- (b) *bank or other financial establishment*
- (c) *business or professional office*
- (d) *retail store*
- (e) *service shop*

7.14.31 228 Queen Street – See Schedule 'A-1' (GC-31)

Notwithstanding the provisions of the General Commercial (GC) Zone, for the lands identified as (GC-31) on Schedule 'A-1' and shown on Figure 7.14.31F below, only the following uses are permitted:

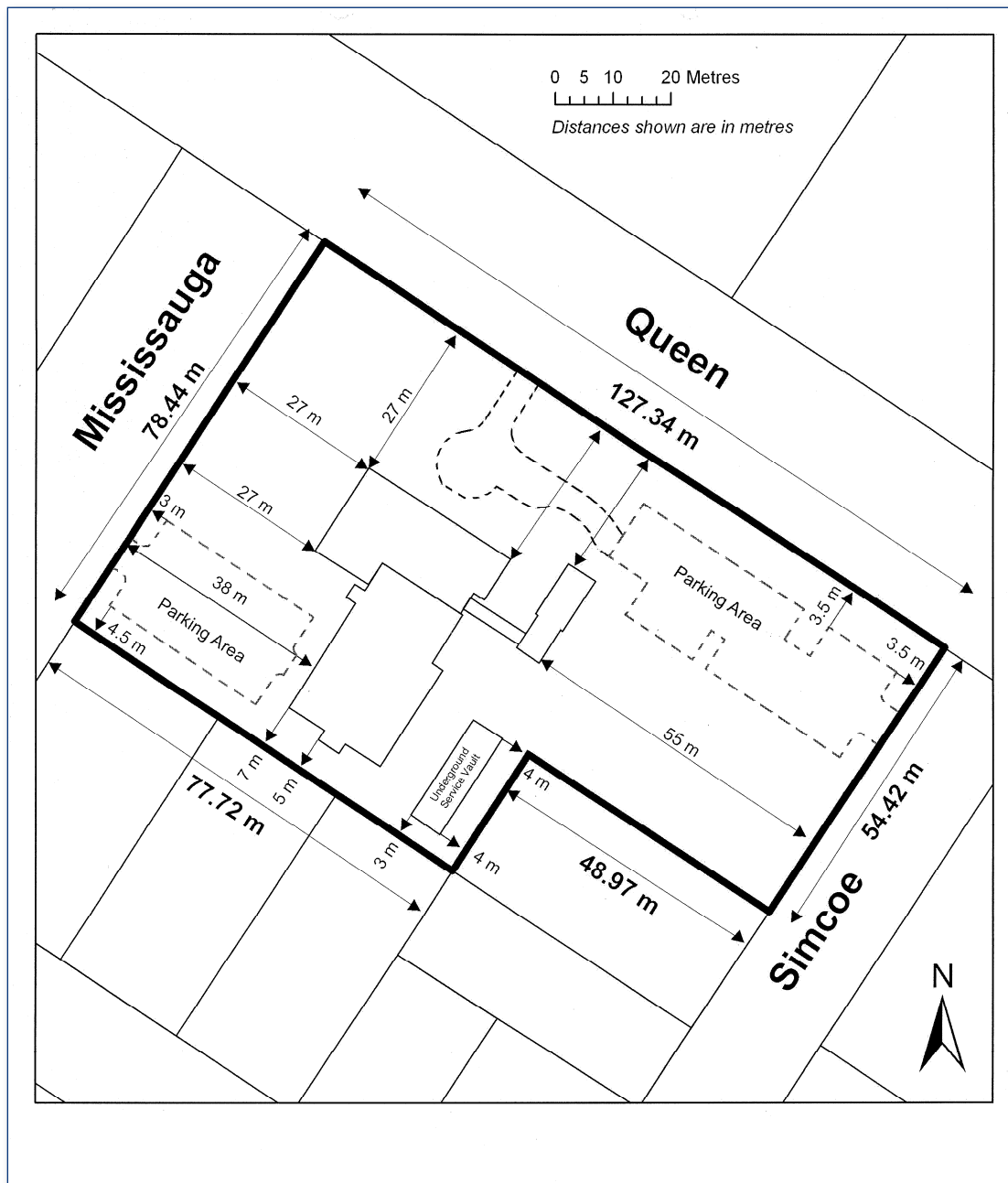
7.14.31.1 Permitted Uses:

- (a) accessory buildings are as per those shown on Figure 7.14.31 F-1 (as amended by 4316X-12)
- (b) *single detached dwelling* provided the twenty-four (24) room hotel with restaurant, meeting room and spa facilities does not exist on the site. (as amended by 4316X-12)
- (c) twenty-four (24) room *hotel* with a *restaurant*, meeting room and spa facilities.

7.14.31.2 Zone Requirements:

(a)	Minimum lot area	0.87 ha (2.1 ac)
(b)	Minimum lot frontage (Queen Street)	127.3 m (417.7 ft)
(c)	Minimum lot depth (Mississauga Street)	78.44 m (257.35 ft)
(d)	Maximum lot coverage	13%
(e)	Maximum building height	10.66 m (35 ft) to the peak
(f)	Minimum landscaped area	65%
(g)	Minimum setbacks as shown on Figure 8 overleaf.	
(h)	One loading space is required for those uses identified in this site specific By-law	
(i)	<p>Minimum number of required parking spaces required to serve these lands are fifty-two (52) parking spaces for the following uses / floor areas:</p> <p>(1) Twenty-four (24) hotel rooms</p> <p>(2) 615.8 m² (6628 ft²) of restaurant / lounge are including greenhouse space / kitchen space 240.0 m² (2583 ft²) of spa area and 126.3 m² (1359 ft²) of spa garden area 12.73 m² (137 ft²) of hotel administration area</p>	

Figure 7.14.31F: 228 Queen Street



7.14.31.3 Zone Requirements for a Residential Use: (as amended by 4316X-12)

- (a) Minimum setbacks as identified on Figure 7.14.31F-1.

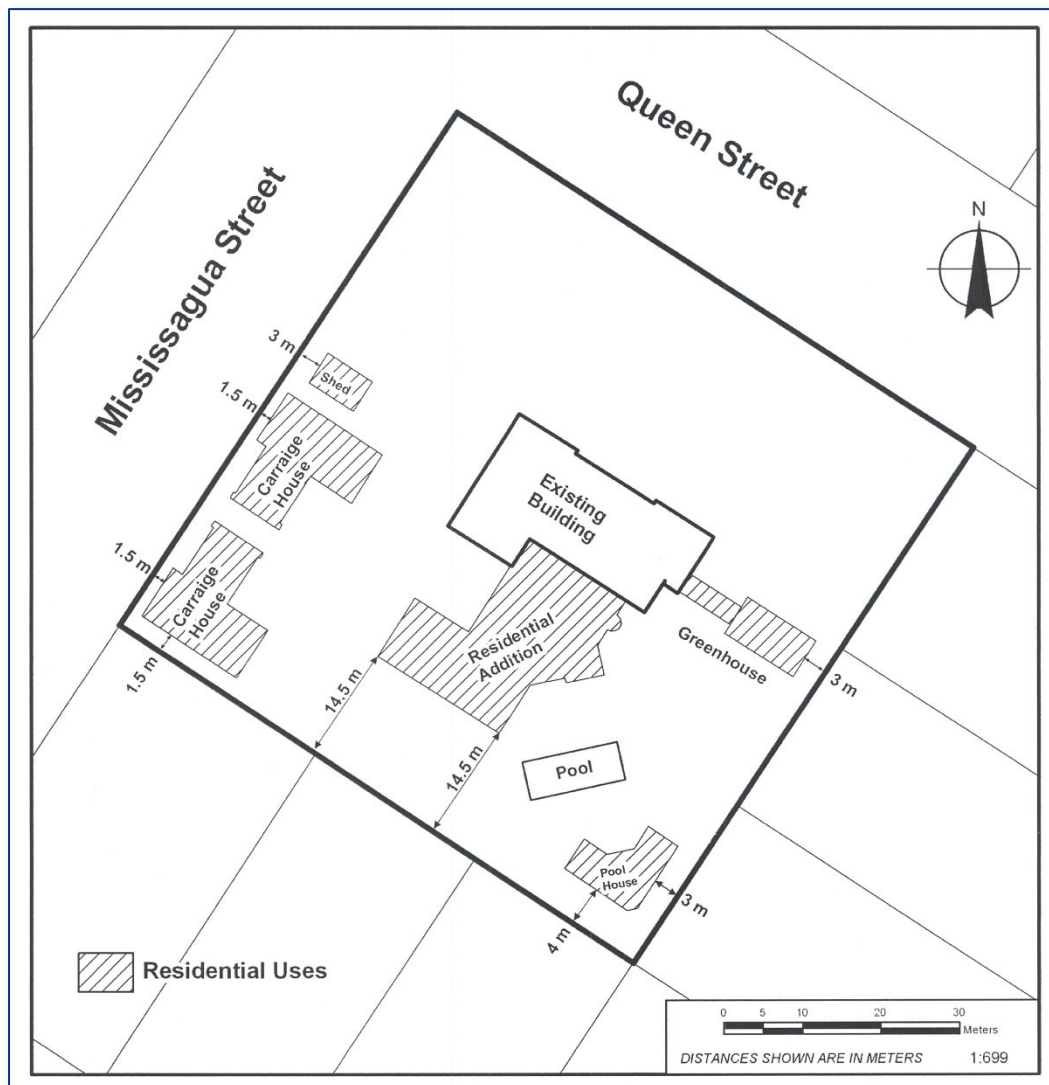
7.14.31.4 Permitted Temporary Use – Garden Suite: (as amended by 4316X-12)

For the purpose of this by-law, a “Garden Suite” shall be defined as follows:

“Garden Suite” shall mean a residential dwelling unit in an accessory building that is not meant to be permanent and is ancillary to an existing residential dwelling.

- (a) The “Garden Suite” shall be located within an accessory building being the southerly carriage house as shown on Figure 7.14.3 F-1.
- (b) The temporary use of the “Garden Suite” shall be in force and in effect for a maximum period of 10 years from the date of passage of this by-law. (March 26, 2012)
- (c) The temporary use may be extended by by-law for a period not exceeding 3 years each during which the temporary use is authorized.

Figure 7.14.31F-1: 228 Queen Street



7.14.32 120 John Street – See Schedule ‘A-2’ (R1-32 & RM1-32) (as amended by By-law 4316Y-12)

Notwithstanding the provisions of the “Residential (R1) Zone”, the following permitted uses and zone requirements shall apply to the lands identified as R1-32 and RM1-32 on Schedule ‘A-2’ and shown as Figure 7.14.32F below:

7.14.32.1 Permitted Uses:

- (a) *single family dwelling*

7.14.32.1 Prohibited Uses:

- (a) *bed and breakfast establishments*

7.14.32.3 Zone Requirements:

(a)	Minimum lot frontage	15.2 m (49.90 ft)
(b)	Minimum lot area	430.0 m ² (4628.50 ft ²)
(c)	Minimum lot depth	21.6 m (70.86 ft)
(d)	Maximum lot coverage*	40%
(e)	Maximum lot coverage for lots 10 & 11*	45 %
(f)	Maximum height of dwelling	8.53 m (28 ft) to peak of roof
(g)	Minimum front yard setback to dwelling	5.50 m (18.0 ft)
(h)	Minimum front yard setback to covered / uncovered porch	3.0 m (9.8 ft)
(i)	Minimum front yard setback to attached / detached garage	8.0 m (26.0 ft)
(j)	Minimum interior side yard setback	1.52 m (5.0 ft)
(k)	Minimum exterior side yard setback	3.0 m (9.8 ft)
(l)	Minimum rear yard setback	7.62 m (25 ft)
(m)	Minimum rear yard setback for lots 10 & 11	6.0 m (19.68 ft)
(n)	Minimum interior side yard setback for semi-detached garages	0.0 m (0 ft)
(o)	Maximum driveway width on lot frontages	3.0 m (9.8 ft)
(p)	Maximum driveway width on lots with flankage side	6.0 m (19.7 ft)
(q)	Minimum landscaped open space	45% of the lot area
(r)	Minimum parking space requirement	2 spaces per dwelling located behind the front face of the dwelling. Only one parking space may be stacked behind a required parking space.

** Excludes covered decks and porches to a maximum of 37 m² (400 ft²).*

Notwithstanding the provisions of the “Multiple Family (RM1) Zone”, the following special provisions shall apply to the lands identified as “Multiple Family (RM1) – Retirement Residence – Site Specific Zone” as shown on Figure 7.14.32F below:

7.14.32.4 Permitted Uses:

- (a) retirement residence.....100 suites (as amended by 4316AB-12)

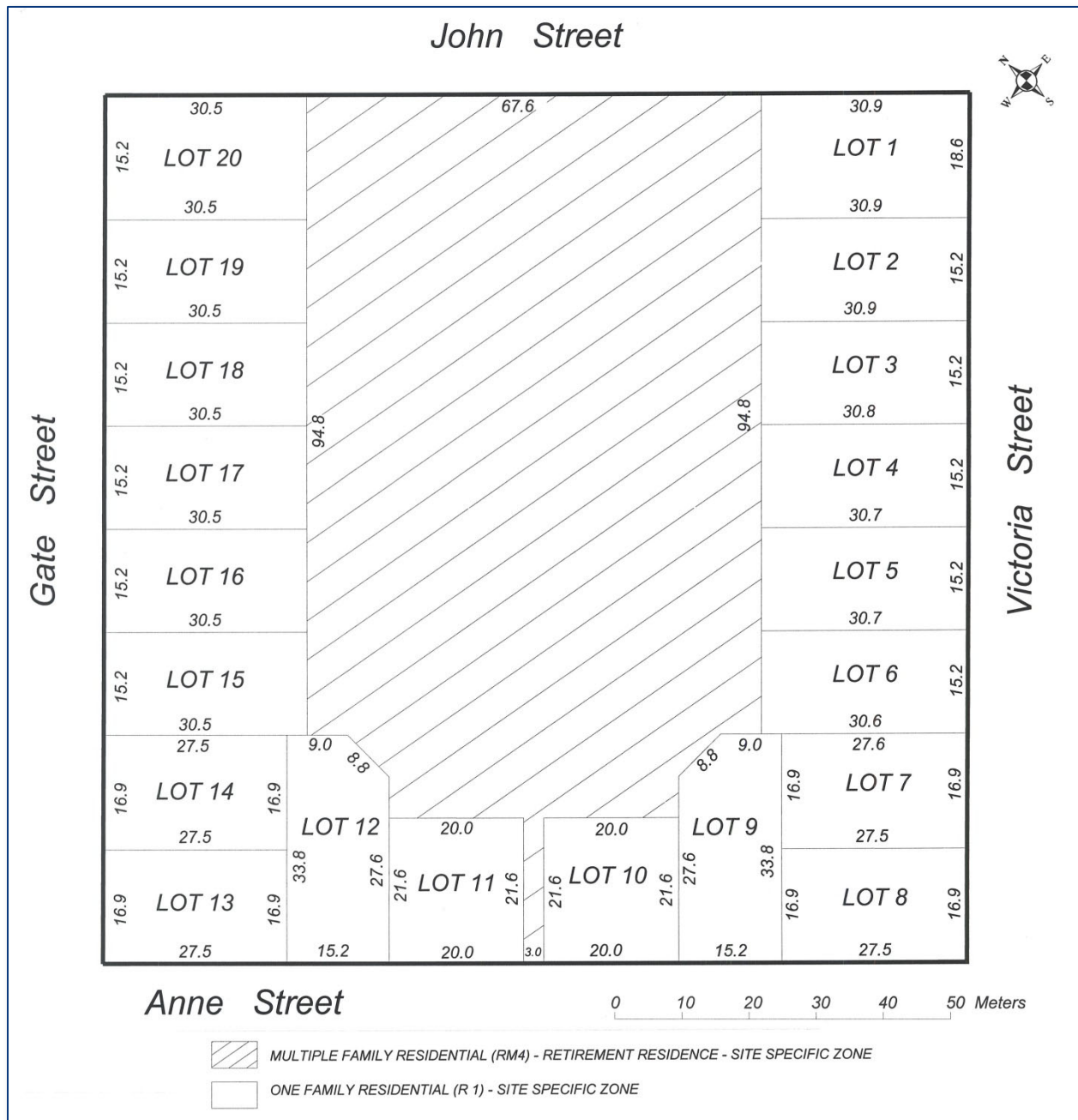
7.14.32.5 Zone Requirements:

(a)	Minimum lot area	7025 m ² (1.74 ac)
(b)	Minimum lot frontage	67.6 m (221.78 ft)
(c)	Maximum building height to peak of roof *	13.10 M (43.0 ft)
(d)	Minimum front yard setback (from John Street)	11.49 m (37.70 ft)
(e)	Minimum westerly interior side yard setback	3.42 m (11.22 ft)
(f)	Minimum easterly interior side yard setback	3.42 m (11.22 ft)
(g)	Minimum rear yard setback (from Anne Street)	3.24 m (10.63 ft)
(h)	Minimum unit area	28 m ² (301.3 ft ²) (as amended by 4316AB-12)
(i)	Maximum lot coverage	45%
(j)	Minimum landscaped open space	45%
(k)	Minimum number of parking spaces **	47
(l)	Minimum number of loading spaces	1 space

* Ornamental structures, i.e. widows walk, cupolas, to a maximum height of 0.91m (3.0 ft) shall not be included in the height requirement.

** Where underground parking is provided, each required parking space shall be at least 2.75 m (9 ft) by 5.5 m (18.0 ft) in size and shall have a minimum egress and ingress aisle of 6.7 m (22 ft).

Figure 7.14.32F: 120 John Street



7.14.33 180 Mary Street – See Schedule ‘A-1’ (ER-33)

Notwithstanding the provisions of the Established Residential (ER) Zone, for the lands identified as (ER-33) on Schedule ‘A-1’ and shown on Figure 7.14.33F below, the following provisions shall apply:

7.14.33.1 In addition to the uses permitted in the Established Residential (ER) Zone, the following additional uses are permitted in the existing one-storey, 118.1 m² (1,271.3 ft²) building as identified on Schedule 'A-1' (ER-33):

- (a) *esthetician office* as defined in Section 5.165
- (b) *professional office* as defined in Section 5.74

7.14.33.2 Zone requirements:

(a)	Minimum lot area	581.9 m ² (6,263.9 ft ²)
(b)	Minimum lot frontage	17.07 m (56ft)
(c)	Minimum lot depth	34.09 m (111.9 ft)
(d)	Minimum number of parking spaces for esthetician office	1 space per 28 m ² (300 ft ²) of floor area
(e)	Minimum number of parking spaces for existing 118.1 m ² (1271.26 ft ²) building	5 spaces

7.14.33.3 Notwithstanding Section 6.38 "Parking Requirements" of this By-law, the minimum driveway width shall be as shown on Figure 10 below.

Figure 7.14.33F: 180 Mary Street



7.14.33.4 A 1.5 m planting strip shall be provided along and immediately adjacent to the southern property line. The planting strip shall be used for no other purpose than for a row of trees or a continuous hedgerow of evergreen or shrubs not less than 1.5 m (5 ft) high.

7.14.34 507 Butler Street, William Stewart Homestead – See Schedule ‘A-3’ (I-34)

Notwithstanding the provisions of the Institutional (I) Zone, for lands identified as (I-34) on Schedule ‘A-3’, only the following special provisions shall apply:

7.14.34.1 Permitted Uses:

- (a) *museum*

- (b) *research facility*
- (c) *single family residential dwelling*

7.14.34.2 Zone Requirements:

(a)	Minimum lot area	0.07 ha (0.17 acres)
(b)	Minimum lot frontage – Butler Street	25.68 m (84.21 ft)
(c)	Minimum lot depth – John Street	27.45 m (90.00 ft)
(d)	Minimum front yard setback – existing William Stewart Homestead	0 m (0 ft)
(e)	Minimum front yard setback – existing shed	1.52 m (5 ft)
(f)	Minimum side yard setback – existing William Stewart Homestead	0 m (0 ft)
(g)	Minimum setback - parking area from John street	3.05 m (10 ft)
(h)	Minimum setback – drive (carriage) shed from residential zone	2.13 m (7 ft)
(i)	Maximum height - drive (carriage) shed	5.03 m (16.5 ft)
(j)	Maximum lot coverage	33 %
(k)	Minimum landscaped area	15 %

7.14.35 186 Ricardo Street, 177 & 189 Byron Street, – See Schedule ‘A-1’ (MC-35)

Notwithstanding the provisions of the Marine Commercial (MC) Zone, for lands identified as (MC-35) on Schedule ‘A-1’ and shown on Figure 7.14.35F below, the following special provisions shall apply:

7.14.35.1 Permitted Uses:

- (a) *eating establishment* including a *restaurant outdoor patio* subject to the provisions of Section 6.36 Outdoor Patio Restaurant and notwithstanding Section 6.36 (k) a restaurant outdoor patio may be permitted on the landscaped roof top areas.
- (b) *hotel* with a maximum of seventy-four (74) guest units
- (c) *retail stores*

7.14.35.2 Zone Requirements:

(a)	Minimum lot area	0.97 ha (2.4 ac)
(b)	Minimum lot frontage: Byron Street	83.69 m (274.2 ft)
(c)	Ricardo Street	71.89 m (235.9 ft)
(d)	Maximum total lot coverage of development including historical building and roof top landscaped areas	55.3%

(e)	Maximum area of roof top landscaped areas	26.1%
(f)	Minimum total landscaped area of development including roof top landscaped area	48.5%
(g)	Setbacks as per Figure 7.14.35F.	

7.14.35.3 The required number of parking spaces shall be in accordance with Section 6.39 Parking Space Requirements. The number of parking spaces required shall be two hundred one (201) including twelve (12) tandem parking spaces plus required loading spaces for the following uses and floor areas:

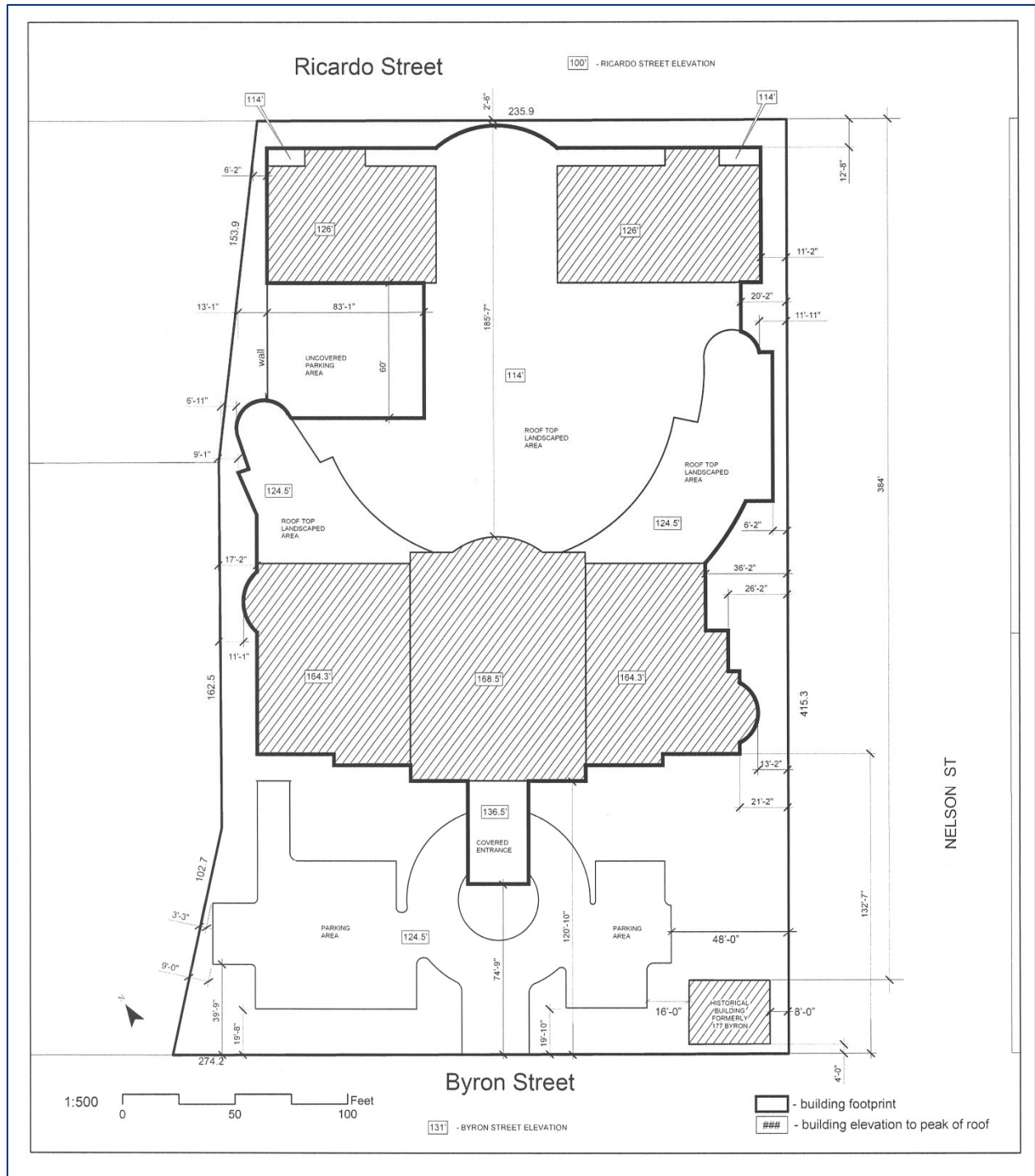
(a)	Seventy-four (74) hotel units	
(b)	Restaurant space of	287.9 m ² (3,100 ft ²)
(c)	Restaurant outdoor patio	90 m ² (968.8 ft ²)
(d)	Retail areas of	836.1 m ² (9,000 ft ²)
(e)	Spa / fitness area of	375.1 m ² (4,038 ft ²)
(f)	Administration areas of	355.3 m ² (3,825 ft ²)
(g)	Members space of	247.5m ² (2,664 ft ²)
(h)	Conference / meeting areas of	150.5 m ² (1,620 ft ²)
(i)	Restaurant kitchen area of	266.6 m ² (2,870 ft ²)
(j)	Existing heritage resource building at 177 Byron Street	

7.14.35.4 Notwithstanding Section 6.39 Parking Space Requirements, required parking spaces for the following uses shall be calculated at a rate of 1 space for every 37.16 m² (400 ft²) of floor area:

- (a) administration areas
- (b) members space
- (c) conference / meeting areas
- (d) restaurant kitchen area

7.14.35.5 Notwithstanding Section 6.39 Parking Space Requirements the location of the surface parking area shall be along Byron Street on both sides of the main entrance. This surface parking is as per Figure 7.14.35F below.

Figure 7.14.35F: 186 Ricardo Street, and 177 & 189 Byron Street



7.14.36 390 Mary Street – See Schedule ‘A-3’ (GC-36)

Notwithstanding the provisions of the General Commercial (GC) Zone, for lands identified as (GC-36) on Schedule ‘A-3’, the following special provisions shall also apply:

7.14.36.1 Permitted Uses:

- (a) nine (9) room *hotel*

7.14.36.2 Notwithstanding the provisions of Section 6.48 (f) Residential Use in Non-Residential Building, a dwelling unit shall be permitted on the ground floor of a non-residential building.

7.14.36.3 The provisions of Section 6.27, Loading Spaces Requirements, shall not apply.

7.14.37 2228 Niagara Stone Road – See Schedule ‘A-3’ (GC-37 & OS-37)

(as amended by 4316J-11)

Notwithstanding the provisions of the General Commercial and Open Space Zones, for lands identified as GC-37 and OS-37 on Schedule ‘A-3’, (as per Figure 7.14.37F), the following additional permitted use and zone requirements shall apply:

7.14.37.1 Permitted Uses:

- (a) *shopping centre*

7.14.37.2 Prohibited Uses:

- (a) fast food restaurant and / or *drive through restaurant*

7.14.37.3 Zone Requirements:

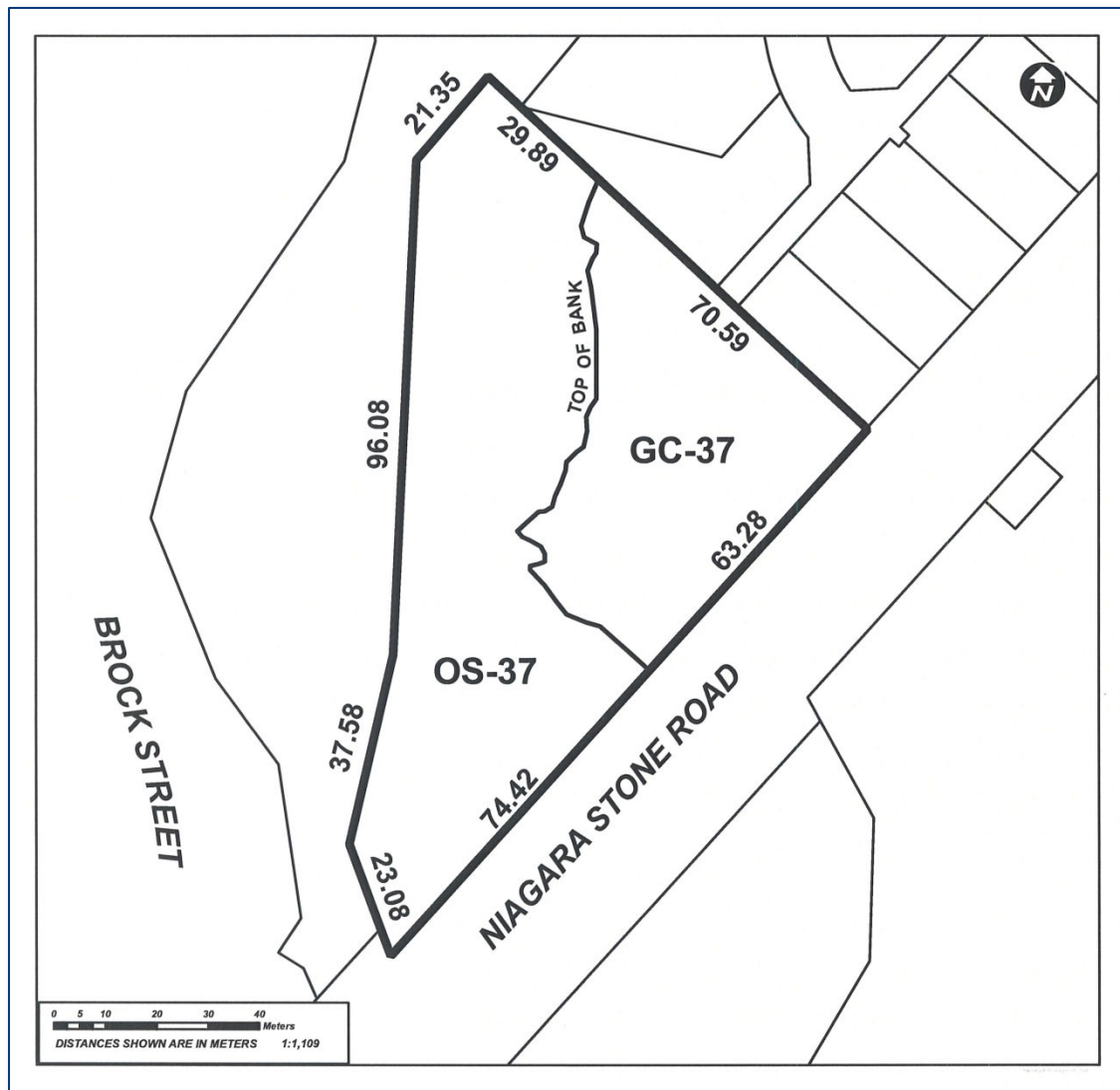
(a)	Minimum setback of parking area from top of bank	0 m
(b)	Minimum setback for building from top of bank	4.5 m (14.76 ft)
(c)	Minimum setback for outdoor patio from top of bank	0 m
(d)	Minimum width of landscaping strip along the north property line	1.79 m (5.87 ft)

7.14.37.4 Open Space (OS-37) Zone *(as amended by 4316J-11)*

Permitted Use:

- (a) no structural development is permitted.

Figure 7.14.37F: 2228 Niagara Stone Road



7.14.38 569-589 (WS King Street), “Evergreen Estates”, – See Schedule ‘A-2’ (RM1-38) (as amended by 4316V-12)

Notwithstanding the provisions of the Residential Multiple (RM1) Zone, the following special provisions shall apply to those lands identified as “Old Town Community Zoning District – Residential (RM1-38) – Site Specific Zone and shown on Figure 7.14.38F(i) and Figure 7.14.38F(ii):

7.14.38.1 RM1-38 Zone Requirements:

(a)	Maximum number of townhouse units	18
(b)	Minimum front, rear and exterior side yard setbacks of all buildings as	

	shown on Figure 7.14.38F	
(c)	Minimum interior side yard setback (except that an end wall shall be 1.5 m (5 ft) from any Residential (R1) zone)	0 m
(d)	Total maximum lot coverage for development	55%
(e)	Total minimum landscaping coverage for development	35%
(f)	Minimum side yard between townhouse blocks	3.0 m (10 ft)
(g)	Maximum building height to peak of roof	10.69 m (35.0 ft)
(h)	Minimum lot frontage per unit	8.23 m (27.0 ft)
(i)	Minimum lot area per unit	220 m ² (2,368.1 ft ²)
(j)	Minimum parking spaces per dwelling unit with one of the required spaces being provided within the garage (Only one (1) parking space may be stacked behind a required parking space.)	2 spaces
(k)	Minimum rear yard setback to an unenclosed and uncovered porch, deck, patio or step	3.15 m (10.33 ft)
(l)	Section 6.44 (d) shall not apply	

Figure 7.14.38F(i): 569-589 WS King Street, Evergreen Estates (Figure i & ii shall be read as one.)

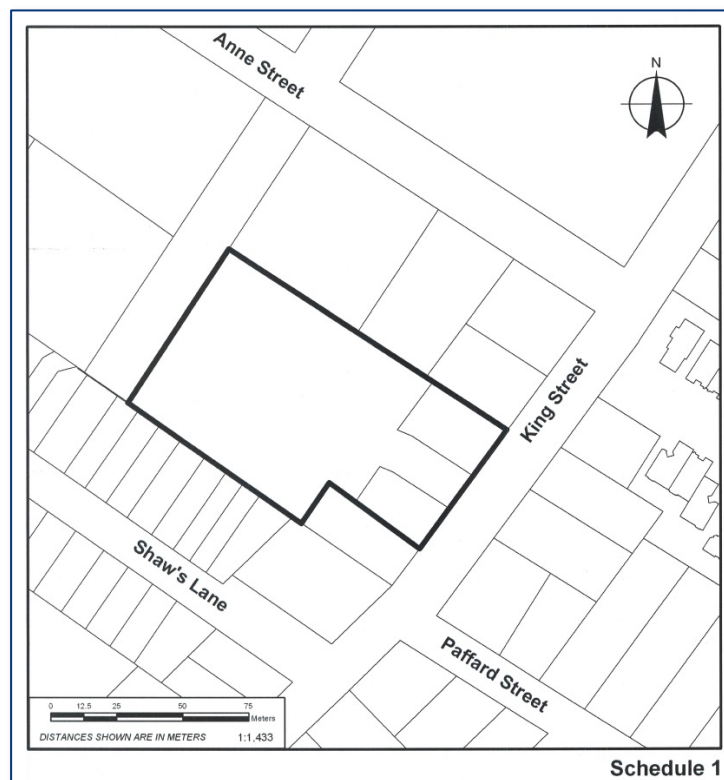
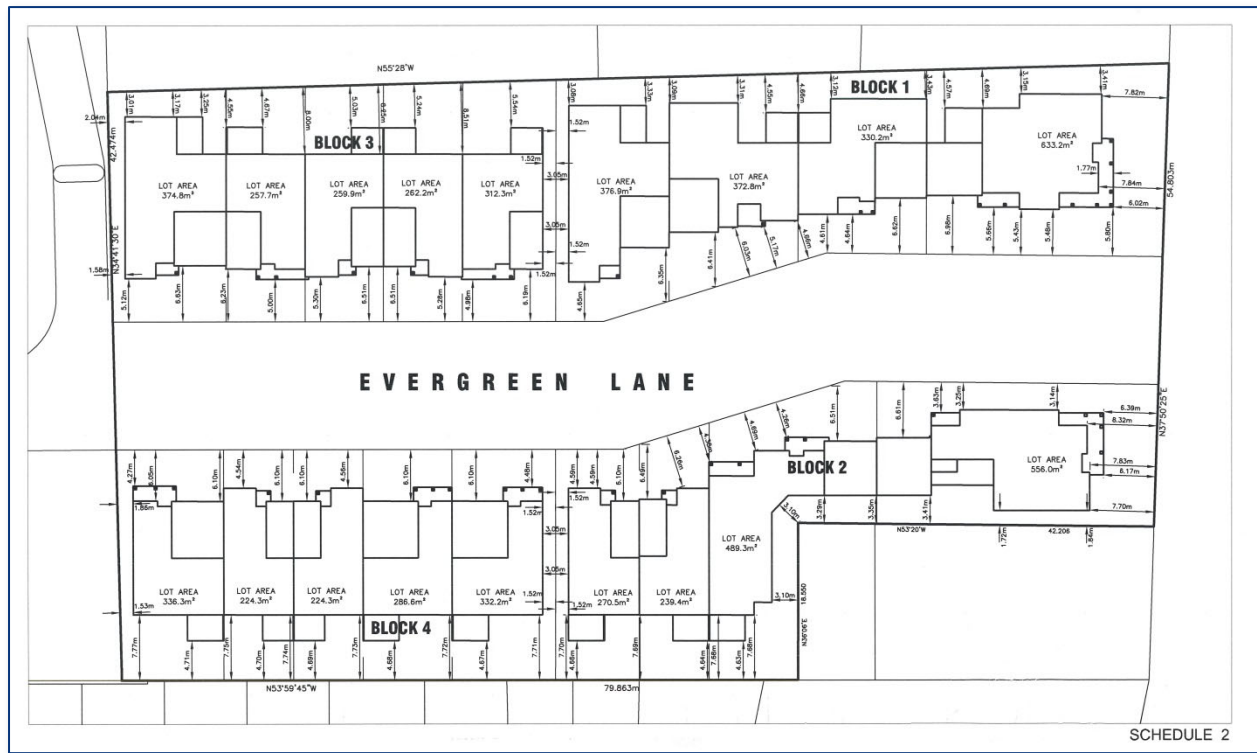


Figure 7.14.38F(ii): 569-589 WS King Street, Evergreen Estates (Figure i & ii shall be read as one.)



7.14.39 Regent Street, Pillar & Post, – See Schedules ‘A-1’ & ‘A-2’ (GC-39)

Notwithstanding the provisions of the General Commercial (GC) Zone, for the lands identified as (GC-39) on Schedules ‘A-1’ & ‘A-2’ and shown on Figures 7.14.39F(i), 7.14.36F(ii), and 7.14.39F(iii) below, only the following provisions shall apply:

7.14.39.1 Permitted Uses:

The lands are to be used for no other purpose than a hotel and uses secondary thereto, except that buildings identified as 263 King Street and 46 Mary Street shall only be used for the following:

- (a) 263 King Street – *hotel* uses not including restaurant or retail uses
- (b) 46 Mary Street – administrative office uses secondary to the hotel operation

7.14.39.2 Zone Requirements:

The minimum setbacks as shown on Figures 7.14.39F (i), (ii) & (iii) below shall apply to the lands identified as GC-39 on Schedules ‘A-1’ & ‘A-2’.

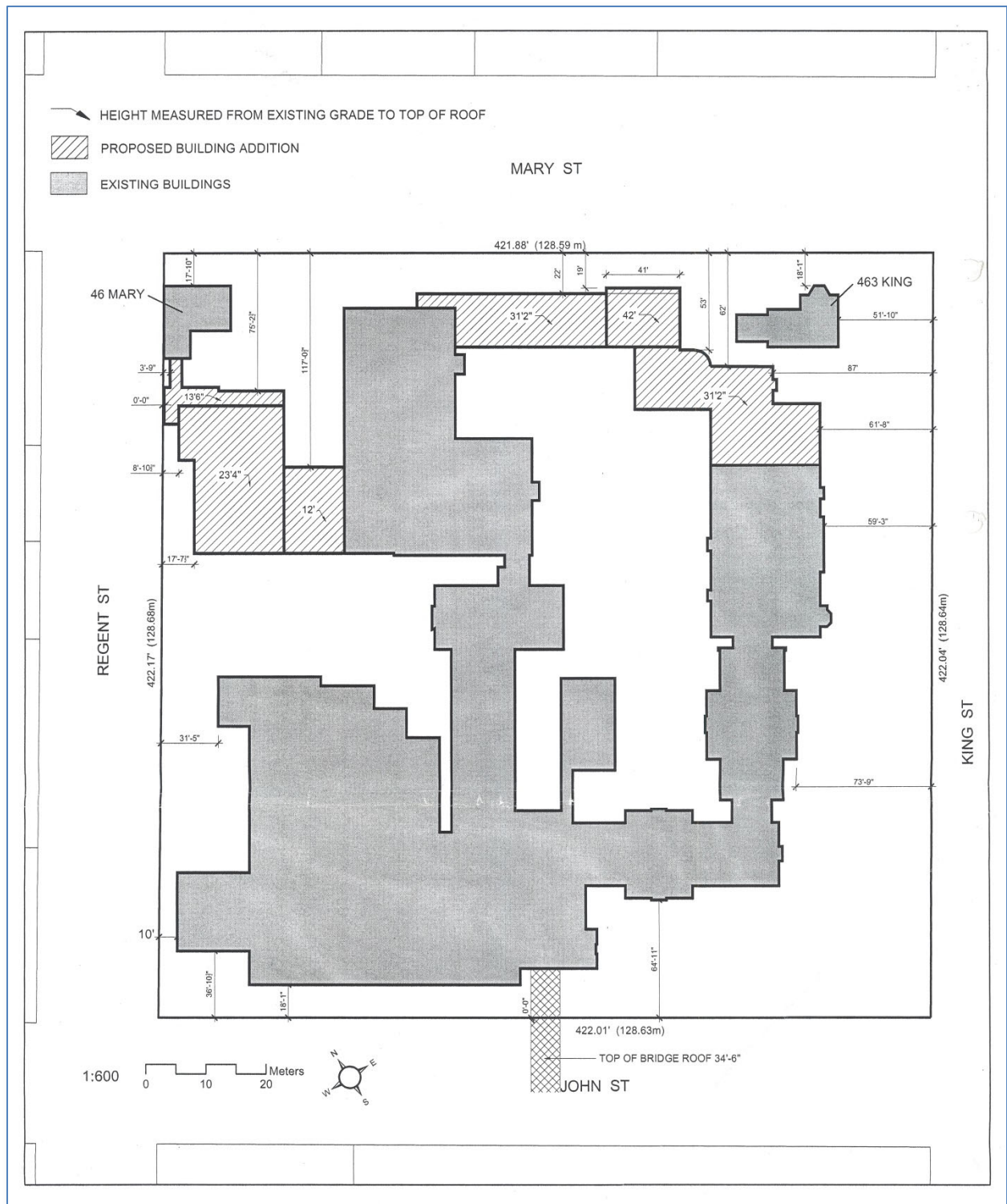
7.14.39.3 Zone Requirements -

Maximum building heights as shown on Figures 7.14.39F (ii) and (iii) attached shall apply to the lands identified as GC-39 on Schedules 'A-1' & 'A-2'

7.14.39.4 Section 6.39 (i) – Parking Space Requirements, Additional Provisions will not apply to these lands

7.14.39.5 Notwithstanding Section 6.27, Loading Spaces Requirements, one (1) loading space, located in the underground parking garage, is required for those new uses identified in Section 7.14.39.1

Figure 7.14.39F (i): Pillar & Post Hotel, Regent St



7.14.39.6 Notwithstanding Section 6.39, Parking Space Requirements, the minimum number of required parking spaces required to serve these lands is four hundred twenty (420) parking spaces for the following uses and floor areas:

Figure 7.14.39F (ii): Pillar & Post Hotel, Regent Street

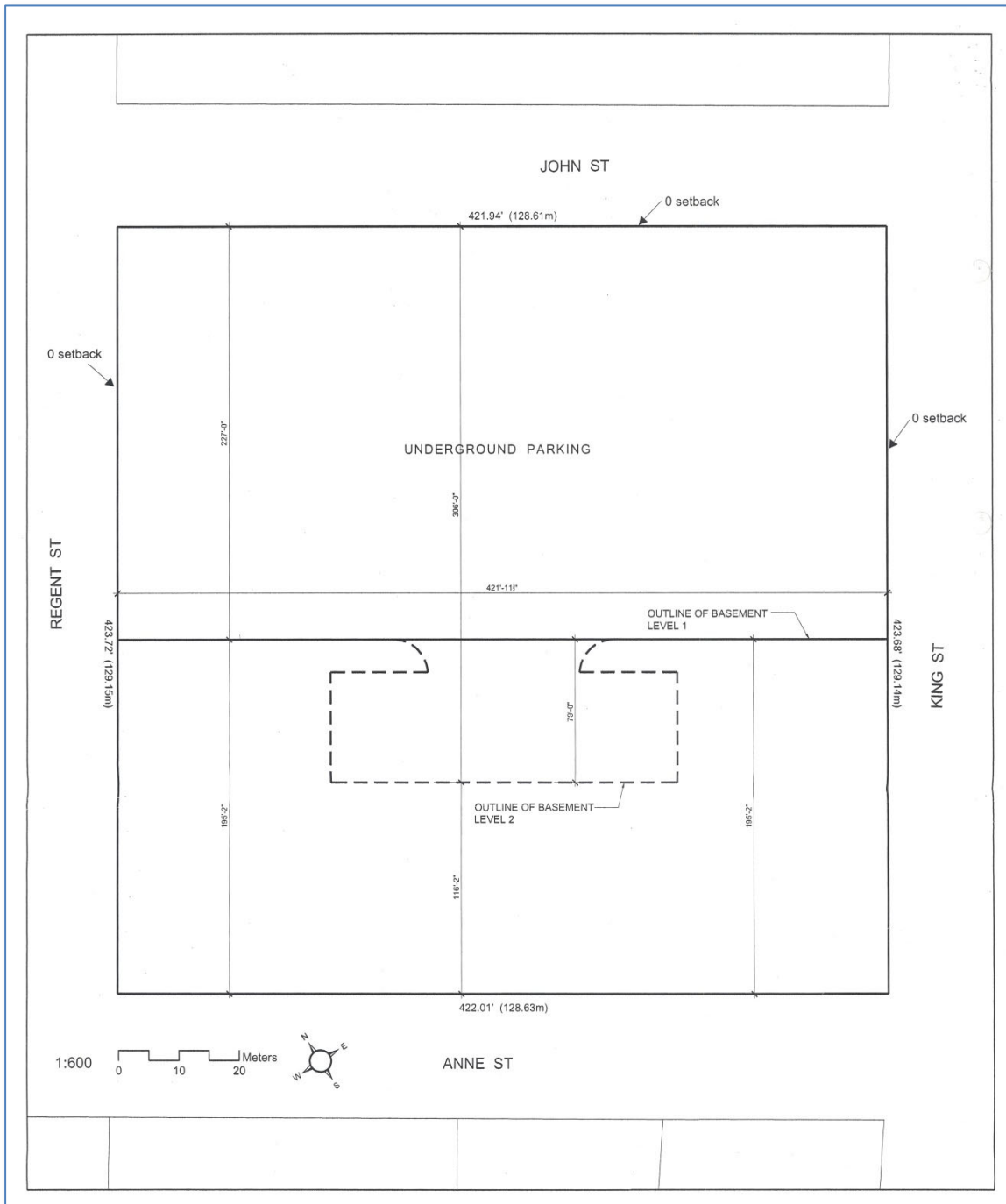
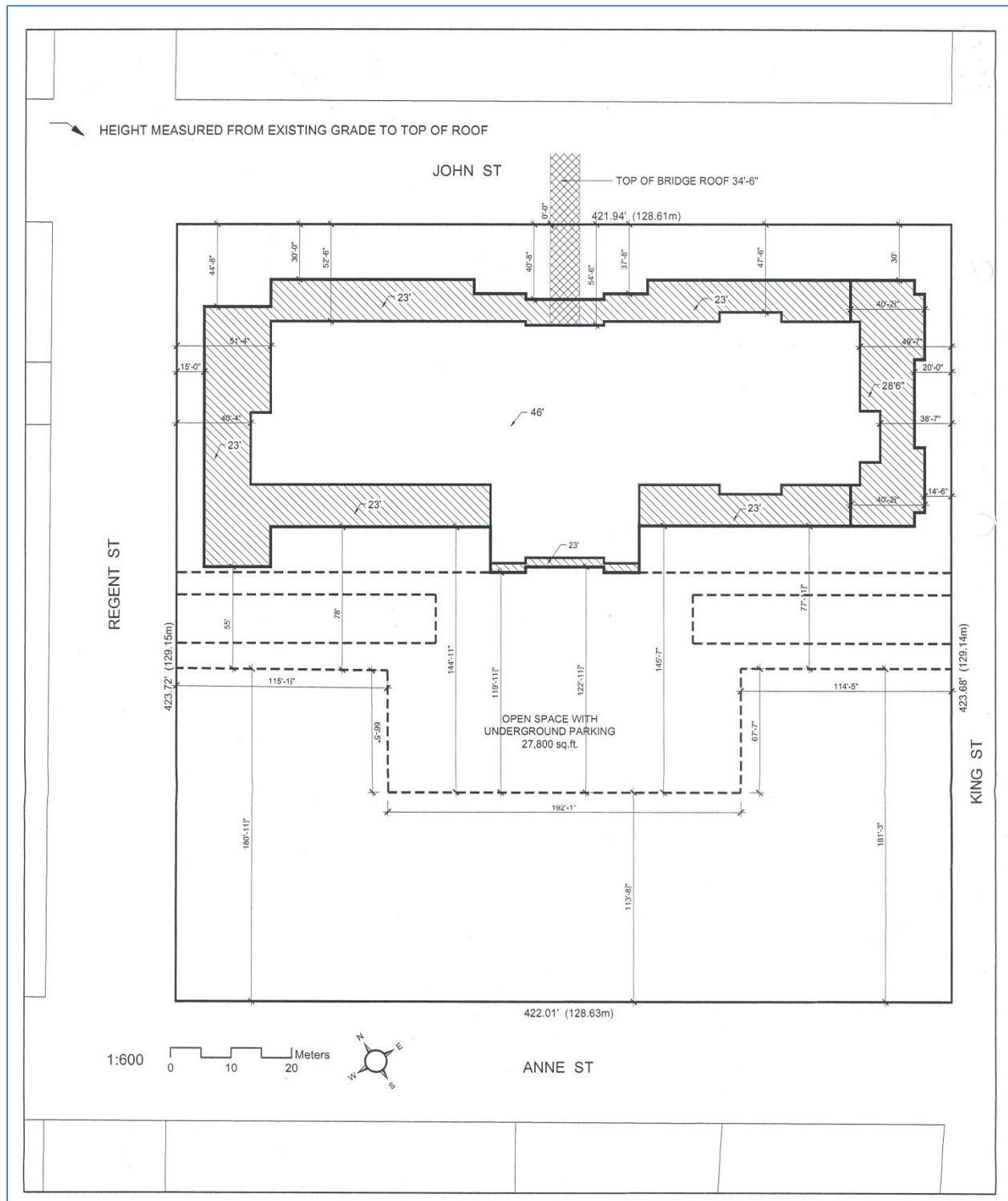


Figure 7.14.39F (iii): Pillar & Post Hotel, Regent Street



Block 1 (Regent, Mary, King and John Streets):

- (a) one hundred forty nine (149) spaces for uses existing as of October 23, 2006.
- (b) eight (8) hotel suites
- (c) 938 m² (10,100ft²) of administration space
- (d) Miller House (46 Mary Street): 160 m² (1,721 ft²) of administrative office space
- (e) Best House (263 King Street): 385.5 m² (4,150 ft²) of hotel use space

Block 2 (Regent, John, King, Anne Streets):

- (a) one hundred fourteen (114) hotel suites
- (b) 840.6 m² (9,048 ft²) conference centre
- (c) additional parking of 50 spaces

7.14.40 40 Platoff Street – See Schedule ‘A-1’ (ER-40)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as (ER-40) on Schedule ‘A-1’, the following provisions shall apply:

7.14.40.1 Permitted Uses:

- (a) six (6) room *Country Inn*

7.14.40.2 Zone Requirements:

- (a) Building setbacks as existing

7.14.41 590 Mississagua Street, Butler’s Gardens Condominiums – See Schedule ‘A-2’ (R1-41) (as amended by 4316J-11 and further amended by 4316AN-13)

Notwithstanding the provisions of the “Old Town Community Zoning District - Residential (R1) Zone” the following provisions shall apply to the lands shown as R1-41 on Schedule ‘A-2’.

7.14.41.1 Zone Requirements for R1-41:

(a)	Minimum lot frontage	12.0 m (39.37 ft)
(b)	Minimum lot area	385.0 m ² (4144 ft ²)
(c)	Maximum lot coverage	53%
(d)	Minimum front yard setback from unit property line: To front face of dwelling or covered porch	4.0 m (13.12 ft)

	To front face of garage	6.0 m (19.68 ft)
(e)	Minimum landscaped open space	25%
(f)	Minimum interior side yard setback	1.2 m (4 ft)
(g)	Minimum exterior side yard setback:	
	From public road	4.2 m (13.77 ft)
	From private road	3.0 m (9.84 ft)

- 7.14.41.2 Notwithstanding Section 6.44 Permitted Yard Projections and Encroachments, an unenclosed and uncovered porch, deck, balcony or patio may project into a required rear yard of a unit 3.5 m (11.48 ft).

7.14.42 230 Davy Street – See Schedule ‘A-1’ (ER-42)

Notwithstanding the provisions of the “Established Residential (ER) Zone” the following additional provisions shall be permitted on those lands identified as ER-42 on Schedule ‘A-1’.

7.14.42.1 Permitted Uses:

- (a) four (4) room *Country Inn* in the existing residential dwelling

7.14.43 92 Queen Street – See Schedule ‘A-1’ (QPC-43)

Notwithstanding the provisions of the “Queen Picton Commercial (QPC) Zone” the following additional provisions shall be permitted on those lands identified as QPC-43 on Schedule ‘A-1’.

7.14.43.1 Permitted Uses:

- (a) *restaurant outdoor patio* is a permitted use in the Queen Picton Commercial (QPC) Zone on land identified as QPC – 43 on Schedule ‘A-1’.

7.14.43.2 Zone Requirements:

(a)	The maximum restaurant outdoor patio area shall not exceed 108 m ² (1162.54 ft ²)
(b)	Off street parking shall be provided at a rate of one space for every 18.5 m ² of outdoor patio area.
(c)	Outdoor patios shall operate between 8:00 a.m. and 11:00 p.m., except that the second storey restaurant shall not operate after 8:00 p.m.
(d)	The surface of the second storey restaurant outdoor patio shall be limited to a maximum height of 4.32 m above grade.

7.14.44 94 Prideaux Street – See Schedule ‘A-1’ (ER- 44)

Notwithstanding the provisions of the “One Family Residential (R1) Zone”, the following use is permitted on those lands identified as ER-43 on Schedule ‘A-1’.

7.14.44.1 Permitted Uses

- (a) four (4) room *country inn* in the existing residential dwelling.

7.14.44.2 Zone Requirement

Notwithstanding the provisions of Section 6.10, the following provisions will apply:

- (a) maximum of five (5) required parking spaces for a small scale tourist facility shall be permitted within a required front yard.

7.14.45 Anne, Regent, Victoria & King Streets [Boatworks Subdivisions] – See Schedule ‘A-2’ (RD-45)

Notwithstanding the provisions of the “Residential (R1) Zone”, for lands identified as RD-45 on Schedule ‘A-2’ and shown on Figure 7.14.45F below, the following provisions shall apply:

7.14.45.1 Permitted Uses:

- (a) *Apartment buildings*
- (b) Four (4) *semi-detached dwellings*
- (c) *Townhouses*
- (d) Twenty (20) *single detached dwellings*

7.14.45.2 Secondary Uses

- (a) bed and breakfast establishment as defined in Section 6.5 may be permitted as a secondary use to a single family dwelling provided that the associated lot meets the minimum lot requirements of 7.14.45.3.

7.14.45.3 Zone Requirements:

SINGLE DETACHED

(a)	Minimum lot frontage	11.58 m (38.0 ft)
(b)	Minimum lot area	360.00 m ² (3875 ft ²)
(c)	Minimum lot depth	17.68 m (58.0 ft)
(d)	Maximum lot coverage: 1) For lots 1 to 3, 23 to 27 & 31 to 34 2) For lots 28 to 30, & 35 to 43	33% 40%
(e)	Minimum front yard setback to dwelling*.	3.05 m (10 ft)
(f)	Minimum front yard setback to attached / detached garage	6.0 m (19.69 ft)

(g)	Minimum interior side yard setback	1.22 m (4 ft)
(h)	Minimum exterior side yard setback to dwelling / accessory building	2.4 m (8 ft)
(i)	Minimum rear yard setback to dwelling	7.62 m (25 ft)
(j)	Minimum rear yard setback to dwelling for Lots 32 & 33	3.66 m (12 ft)
(k)	Minimum interior and rear yard setback for accessory building	1.22 m (4 ft)
(l)	Maximum building height of main building	9.75 m (32 ft)
(m)	Minimum landscaped open space	41% of the lot area
(n)	Minimum parking space requirements	2 spaces per dwelling located behind the front face of the dwelling. Only one (1) parking space may be stacked behind a required space

7.14.45.4 Zone Requirements:

SEMI-DETACHED DWELLINGS [Not permitted on Lots 1 to 3, and 23 to 26]:**

(a)	Minimum lot frontage	9.14 m (30.0 ft)
(b)	Minimum lot area	248.28 m ² (3060 ft ²)
(c)	Minimum lot depth	31.09 m (102.0 ft)
(d)	Maximum lot coverage	36%
(e)	Minimum front yard setback to dwelling*	3.05 m (10 ft)
(f)	Minimum front yard setback to attached / detached garage	6.0 m (19.69 ft)
(g)	Minimum interior side yard setback	1.22 m (4 ft)
(h)	Minimum setback between common wall	0 m (0 ft)
(i)	Minimum rear yard setback to dwelling	7.62 m (25 ft)
(j)	Minimum interior and rear yard setback for accessory building	1.22 m (4 ft)
(k)	Maximum building height of main building	9.75 m (32 ft)
(l)	Minimum landscaped open space	41% of the lot area
(m)	Minimum parking space requirements	2 spaces per dwelling located behind the front face of the dwelling. Only one parking space may be stacked behind a required space

* For Lots 37 to 43, the front yard is considered to be the Street "A" frontage.

7.14.45.5 Zone Requirements:

TOWNHOUSES

(a)	Maximum number of townhouse units	19
(b)	Minimum lot frontage per unit	7.62 m (25.0 ft)
(c)	Minimum lot area per unit	220.64 m ² (2375 ft ²)
(d)	Minimum front yard setback to dwelling	3.05 m (10 ft)
(e)	Minimum front yard setback to attached / detached garage	6.0 m (19.69 ft)
(f)	Minimum interior side yard setback	1.22 m (4 ft)
(g)	Minimum exterior side yard setback	3.0 m (10.0 ft)
(h)	Minimum setback between common wall	0 m (0 ft)
(i)	Minimum setback between townhouse blocks	3.0 m (10.0 ft)
(j)	Minimum rear yard setback to dwelling	7.62 m (25 ft)
(k)	Minimum interior and rear yard setback for accessory building	1.22 m (4 ft)
(l)	Maximum building height of main building	9.75 m (32 ft)
(m)	Maximum lot coverage per townhouse block	45%
(n)	Minimum landscaped open space per townhouse block	41%
(o)	Minimum parking space requirements	2 spaces per dwelling located behind the front face of the dwelling. Only one parking space may be stacked behind a required space

7.14.45.6 Zone Requirements:

APARTMENT BUILDINGS

(a)	Minimum lot area	0.42 ha (1.03 ac)
(b)	Minimum lot frontage	64.78 m (212.5 ft)
(c)	Maximum number of dwellings units	30
(d)	Minimum front yard setback	3.05 m (10 ft)
(e)	Minimum northerly interior side yard setback	12.80 m (42.0 ft)
(f)	Minimum southerly interior side yard setback	7.62 m (25.0 ft)
(g)	Minimum rear yard setback	12.19 m (40 ft)
(h)	Maximum building height to peak of roof**	9.75 m (32.0 ft)
(i)	Maximum lot coverage	26%
(j)	Minimum landscaped open space	55%
(k)	Minimum parking space requirements	45 spaces with 39 spaces to be provided underground

** Ornamental structures, i.e. parapets, to a maximum height of 0.91 m (3.0 ft) shall not be included in the height requirement.

Figure 7.14.45F: Boatworks Subdivision [Anne, Regent, Victoria & King Streets]



7.14.46 242 Mary Street – Schedule ‘A-3’ (GC-46)

Notwithstanding the provisions of the “General Commercial (GC) Zone”, for lands identified as GC-46 on Schedule ‘A-3’, the following shall apply:

7.14.46.1 Permitted Uses:

- (a) *shopping centre* having a total floor area of 16,700 ft².

7.14.46.2 Zone Requirements:

(a)	Minimum number of parking spaces	60
-----	----------------------------------	----

7.14.47 Niagara Stone Road; St. Andrews Glen – Phase 2 (RM1-4) (as amended by 4316H-11)

Notwithstanding the provisions of the Residential Multiple “RM1” zone as per Section 7.5 the following special provisions shall apply : (see figure 7.14.47F below)

7.14.47.1 Permitted Uses on Part 1 and Part 2

- (a) only *townhouse dwellings* being both vertically stacked and horizontally integrated, to a maximum of 57 units.

7.14.47.2 Zone Requirements on Part 1 and Part 2

(a)	Minimum lot area per dwelling unit	290 sq.m
(b)	Minimum building setback from an interior lot line	3.9 m
(c)	Minimum building setback from an Open Space Zone	7.5 m
(d)	Minimum building setback from Balmoral Drive	5.0 m
(e)	Minimum building setback from Niagara Stone Road	7.5 m
(f)	Minimum setback for any wall from a private road	4.0 m
(g)	Minimum setback from garage face to private road	6.0 m
(h)	Maximum building coverage for area regulated under this By-law	35%
(i)	Minimum landscaped area regulated under this By-law	43%
(j)	Maximum building height	11 m
(k)	Minimum off-street parking requirement	2 spaces/unit
(l)	Minimum dwelling unit area	93 sq.m
(m)	Minimum separation for buildings on the same lot/block:	
	(i) Front wall to front wall	17.5 m
	(ii) Front wall to side wall	17.3 m
	(iii) Front wall to rear wall	17.3 m
	(iv) Side wall to side wall	3.0 m
	(v) Side wall to rear wall	12.5 m
	(vi) Rear wall to rear wall	12.5 m

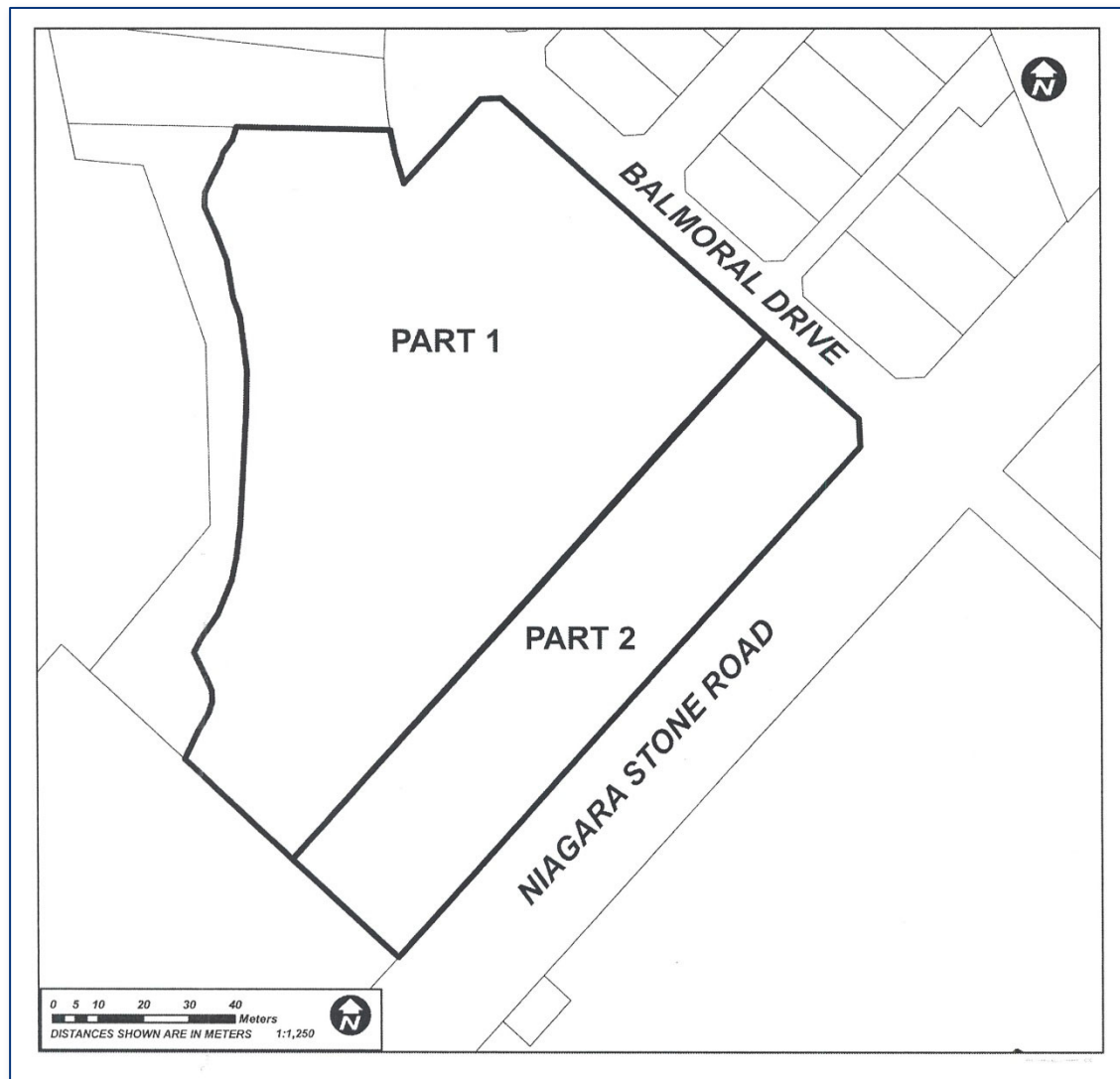
7.14.47.3 Accessory Buildings and Structures on Part 1:

(a)	Minimum setback from a private road or property line	3.0 m
(b)	Minimum setback from a townhouse block/wall	6.0 m
(c)	Maximum accessory building height	4.0 m
(d)	Maximum accessory building area	36 m ²

7.14.47.4 General Provisions for Part 1 and Part 2:

(i)	For lands identified as Part 2 on Figure 7.14.47F, the “Front Yard” shall be deemed to be the yard space between Niagara Stone Road and the dwelling and that furthermore, outside storage, accessory buildings and structures are strictly prohibited.
(ii)	Notwithstanding (i) above, Section 6.45 of Zoning By-law 4316-09, as amended “Frontage on a Public Road or Street” shall not apply.
(iii)	An Outdoor Amenity Area, excluding second floor balconies shall not be permitted in the “front yard” as defined in subsection (i) above. Outdoor Amenity Area space shall be provided internal to the site.
(iv)	Tandem parking to meet the off-street parking requirements of this By-law is permitted to include a maximum two spaces inside a garage.
(v)	Steps to a deck, porch or entrance to a dwelling are permitted to encroach into a required setback limit up to 3.0 m.
(vi)	Notwithstanding (v) above, no accessory buildings or structures, decks, porches or entrances shall be permitted within 7.5 m. Open Space (OS-2) Zone adjacent to the site without written approval from the Niagara Peninsula Conservation Authority. At grade patios are permitted.

Figure 7.14.47F: St. Andrews Glen – Phase 2



7.14.48 209 Queen Street (GC-43) (as amended by 4316J-11)

Notwithstanding the provisions of the “Old Town Community Zoning District – General Commercial (GC) Zone” the following special provisions shall apply to those lands identified as GC-48 on Schedule 'A-1' and 'A-3'.

7.14.48.1 Permitted Uses:

- (a) thirty-one (31) room *hotel* with restaurant and outdoor patio
- (b) *secondary uses* associated with a hotel including a meeting room, laundry facilities, office space, staff room and fitness room.

7.14.48.2 Zone Requirements:

(a)	Minimum lot area	4, 033 m ² (43,412 ft ²)
(b)	Minimum lot frontage (Queen Street)	63.58 m (208.5 ft)
(c)	Minimum lot depth (Simcoe Street)	63.43 m (208.1 ft)
(d)	Maximum lot coverage	30%
(e)	Minimum landscaped open space	34%
(f)	Maximum building height (peak or rear addition)	10.3 m (33.8 ft)
(g)	Minimum exterior yard setback for the parking space (Simcoe Street)	0.91 m (2.985 ft)
(h)	Minimum rear yard setback of a parking space	0.61 m (2.0 ft)
(i)	Minimum number of parking spaces	40 spaces

7.14.49 219 Victoria Street, RM1-49 (as amended by 4316I-11)

Notwithstanding the provisions of the “Residential Multiple (RM1) Zone,” in the Old Town Community Zoning District, the following special provisions shall apply to the lands identified as Part 2 “Residential Multiple (RM1-49) – Site Specific Zone” on Figure 7.14.49&50F and on Schedule ‘A-1’:

7.14.49.1 Zone Requirements:

(a)	Minimum front yard setback	3.42 m (11.22 ft)
(b)	Minimum interior side yard setback	3.04 m & 4.75 m (9.97 ft & 15.58 ft)
(c)	Minimum rear yard setback	7.3 m (23.95 ft)

7.14.49.2 Notwithstanding the provisions of Section 6.39 “Parking Space Requirements” of Zoning By-law 4316-09, as amended; in the buildings existing as of the date of passing of this by-law the 33 parking spaces shall be sufficient for any of the uses permitted in Section 7.7 “Queen Picton Commercial (QPC) Zone” and the “Residential Multiple (RM1-49) Zone – Site Specific” for the lands in question.

7.14.50 118 Queen Street, QPC-50 (as amended by 4316I-11)

Notwithstanding the provisions of the “Queen Picton Commercial (QPC) Zone,” in the Old Town Community Zoning District, the following special provisions shall apply to the existing building at the rear of the main building on those lands identified as “Queen Picton Commercial (QPC-50) – Site Specific Zone” as Part 1 of Figure 7.14.49&50F and on Schedule ‘A-1’:

7.14.50.1 Permitted Uses:

The following additional use shall also be permitted on those lands identified as part 1 “Queen Picton Commercial (QPC 50) - Site Specific Zone”

- (a) *single detached dwelling* in the existing detached building at the rear of the main building.

7.14.50.2 Zone Requirements:

(a)	Minimum front yard setback	As built
(b)	Minimum interior side yard setback	As built
(c)	Minimum exterior side yard setback	As built
(d)	Minimum rear yard setback	As built
(e)	Maximum height	As existing

7.14.50.3 Notwithstanding the provisions of Section 6.39 “Parking Space Requirements” of Zoning By-law 4316-09, as amended; in the buildings existing as of the date of passing of this by-law the 33 parking spaces shall be sufficient for any of the uses permitted in Section 7.7 “Queen Picton Commercial (QPC) Zone” and the “Residential Multiple (RM1-49) Zone – Site Specific” for the lands in question.

Figure 7.14.49&50F: 219 Victoria Street, 118 Queen Street



7.14.51 250, 256, 262 & 268 John Street West (as amended by 4316J-11)

Notwithstanding the provisions of the “Old Town Community Zoning District – Residential (R1) Zone”, for lands identified as R1-51 on Schedule ‘A-3’ the following provisions shall apply:

7.14.51.1 Permitted Uses:

- (a) *single detached dwellings*

7.14.51.2 Zone Requirements:

(a)	Minimum dwelling size	111.48 m ² (1,200 ft ²)
(b)	Maximum dwelling size (This does not include finished basement space).	232.25 m ² (2,500 ft ²)
(c)	Maximum building height	9.14 m (30 ft)
(d)	Front entry garages shall not extend more than 5.52 m (8 ft) in front of the face of the house, or 1.22 (4 ft) in front of a covered porch.	
(e)	Driveway width at the curb shall not exceed 3.66 m (12 ft). Driveways may flair out to double width in the area beyond the existing boulevard trees.	
(f)	Board on board wood or chain link fencing is not permitted in the front yards.	
(g)	Grade level private outdoor space including raised decks shall be confined to the rear yards only, but may extend to the area of the side yards up to the front face of the house.	

7.14.52 399, 393, 387 & 381 Mississauga Street (RM1-52) (as amended by 4316J-11)

Notwithstanding the provisions of the “Old Town Community Zoning District – Residential Multiple (RM1) Zone”, for lands identified as RM1-52 on Schedule ‘A-3’, the following provisions shall apply:

7.14.52.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
(b) *townhouse or Row-House dwelling*

7.14.52.2 Zone Requirements:

(a)	Minimum lot depth	35.0 m (114.83 ft)
(b)	Maximum lot coverage	33.0 %
(c)	Minimum front yard setback	7.5 m (24.6 ft)
(d)	Minimum interior side yard setback	7.5 m (24.6 ft)
(e)	Minimum exterior side yard setback	7.5 m (24.6 ft)
(f)	Minimum accessory buildings yards setback	1.5 m (5.0 ft)

7.14.53 406 Victoria Street, 94, 90 & 84 William Street (RM1-53) (as amended by 4316J-11)

Notwithstanding the provisions of the “Old Town Community Zoning District – Residential Multiple (RM1) Zone”, for lands identified as RM1-53 on Schedule ‘A-1’, the following provisions shall apply:

7.14.53.1 Permitted Uses:

- (a) *accessory buildings and structures* in accordance with Section 6.1
- (b) *townhouse or Row-house dwelling*

7.14.53.2 Zone Requirements:

(a)	Minimum front yard setback	6.1 m (20.0 ft)
(b)	Minimum interior side yard setback	3.04 m (10.0 ft)
	(i) For common walls	0 m (0 ft)
(c)	Minimum exterior side yard setback	9.1 m (30.0 ft)
(d)	Minimum rear yard setback	7.62 m (25.0 ft)
(e)	Minimum accessory building yards setback	1.5 m (5.0 ft)

7.14.54 43 Castlereagh Street (I-54) (as amended by 4316J-11)

Notwithstanding the provisions of the “Old Town Community Zoning – Institutional (I) Zone”, the following provisions shall apply to the lands identified as I-54 on Schedule ‘A-1’:

7.14.54.1 Zone Requirements:

(a)	Minimum front yard setback <i>(for the purpose of this site-specific zoning, the front yard will be that part of the lot that has frontage on Castlereagh Street)</i>	3.3 m (10.83 ft)
(b)	Minimum interior side yard setback	3 m & 1.8 m (9.84 ft & 5.91 ft)
(c)	Minimum exterior side yard setback	6.61 m (21.69 ft)
(d)	Minimum rear yard setback	5 m (16.40 ft)
(e)	Minimum rear yard setback for the existing building	0 m (0 ft)
(f)	Maximum lot coverage	39%
(g)	Minimum number of parking spaces	0 spaces
(h)	Minimum number of loading spaces	0 spaces
(i)	A 3.0 m (9.84 ft) wide buffer strip adjacent to a residential zone is not required.	

7.14.55 442 Mississauga Street (GC-55) (as amended by 4316S-11)

Notwithstanding the provisions of the “Old Town Community Zoning District – General Commercial (GC) Zone” the following special provisions shall apply to those lands identified as “Old Town Community Zoning District – General Commercial (GC-55)” on Schedule ‘A-1’:

7.14.55.1 Permitted Use:

- (a) *business and professional office* but no automated teller machine (ATM) drive thru:

7.14.55.2 Zone Requirements:

(a)	Minimum Number of Parking Spaces of 7 spaces with one (1) being an accessible parking space.	
(b)	Exterior side yard setback to the uncovered surface parking area	1.22 m (4.0 ft)
(c)	Buffer of 1.22 m (4.0 ft) along the east property boundary, 1 m (3 ft) along the north property boundary	
(d)	Front Yard Setback	3 m (10 ft)
(e)	Exterior side yard setback	3 m (10 ft)

7.14.56 144 & 176 John Street (Randwood Estates) (as amended by 4316T-11)

Notwithstanding the provisions of the “General Commercial (GC) Zone” of the Old Town Community Zoning District, the following provisions shall apply to the lands shown on Figure 7.14.56F(i) and Figure 7.14.56F(ii) below and identified as General Commercial – Randwood Estate (GC-56) Holding (H) Zone and Open Space – Randwood Estate (OS-56) Holding (H) Zone on Schedule ‘A-2’.

General Commercial – Randwood Estate (GC-56) Holding (H) Zone

7.14.56.1 Permitted Uses:

- (a) *accessory buildings and structures*
- (b) *art gallery*
- (c) *artist studio(s) and learning centre*
- (d) *conference centre*
- (e) *hotel* with a maximum of one hundred and six (106) rooms
- (f) *outdoor patio*

(g) *restaurant*

7.14.56.2 Zone Requirements:

(a)	Minimum lot frontage	300 m (984.2 ft)
(b)	Minimum lot depth	120 m (393.7 ft)
(c)	Minimum landscaped open space	50%
(d)	Maximum lot coverage	12%
(e)	Minimum main building setbacks in accordance with Figure 7.14.56Fii.	
(f)	Minimum vehicular access ramp setback	30.48 m (100 ft.)
(g)	Maximum building height	17.35 m (57 ft)
(h)	Maximum seating capacity for restaurant	200 seats
(i)	Maximum number of rooms for the hotel	106
(j)	Maximum ground floor area of all buildings in the commercial zone	4181 m ² (45000 ft ²)
(k)	Maximum floor area of the spa	185.8 m ² (2000 ft ²)
(l)	Maximum ground floor area of Arts & Learning Centre	1250 m ² (13,463 ft ²)
(m)	Devonian House: No other commercial use shall be permitted except for a maximum of 8 guest rooms associated as part of the hotel use.	

7.14.56.3 Open Space – Randwood Estate (OS-56) Holding (H) Zone Permitted Uses:

- (a) Pedestrian and carriage pathways
- (b) Existing structures
- (c) Stormwater management facilities
- (d) Parking spaces to a maximum of 50 spaces
- (e) Walls along John and Charlotte Streets
- (f) Accessory landscaping structures or uses

7.14.56.4 Zone Requirements:

(a)	A minimum setback for accessory structures shall be 7.5 m (24.6 ft) from all property lines.
-----	--

7.14.56.5 Notwithstanding Section 6.39 Parking Space Requirements of By-law No 4316-09 as amended; a minimum of 250 parking spaces shall be required.

7.14.56.6 No amplified music or public address system shall be utilized outdoors.

- 7.14.56.7. All other provisions of Zoning By-law 4316-09, as amended, shall continue to apply to the lands as described.
- 7.14.56.8 The Holding (H) Zone shall not be lifted from the General Commercial – Randwood Estate (GC-67) Holding (H) Zone and Open Space – Randwood Estate (OS-56) Holding (H) Zone until such time as the applicant has received site plan approval from the Town of Niagara-on-the-Lake.

Figure 7.14.56F(i): Randwood Estates Zoning

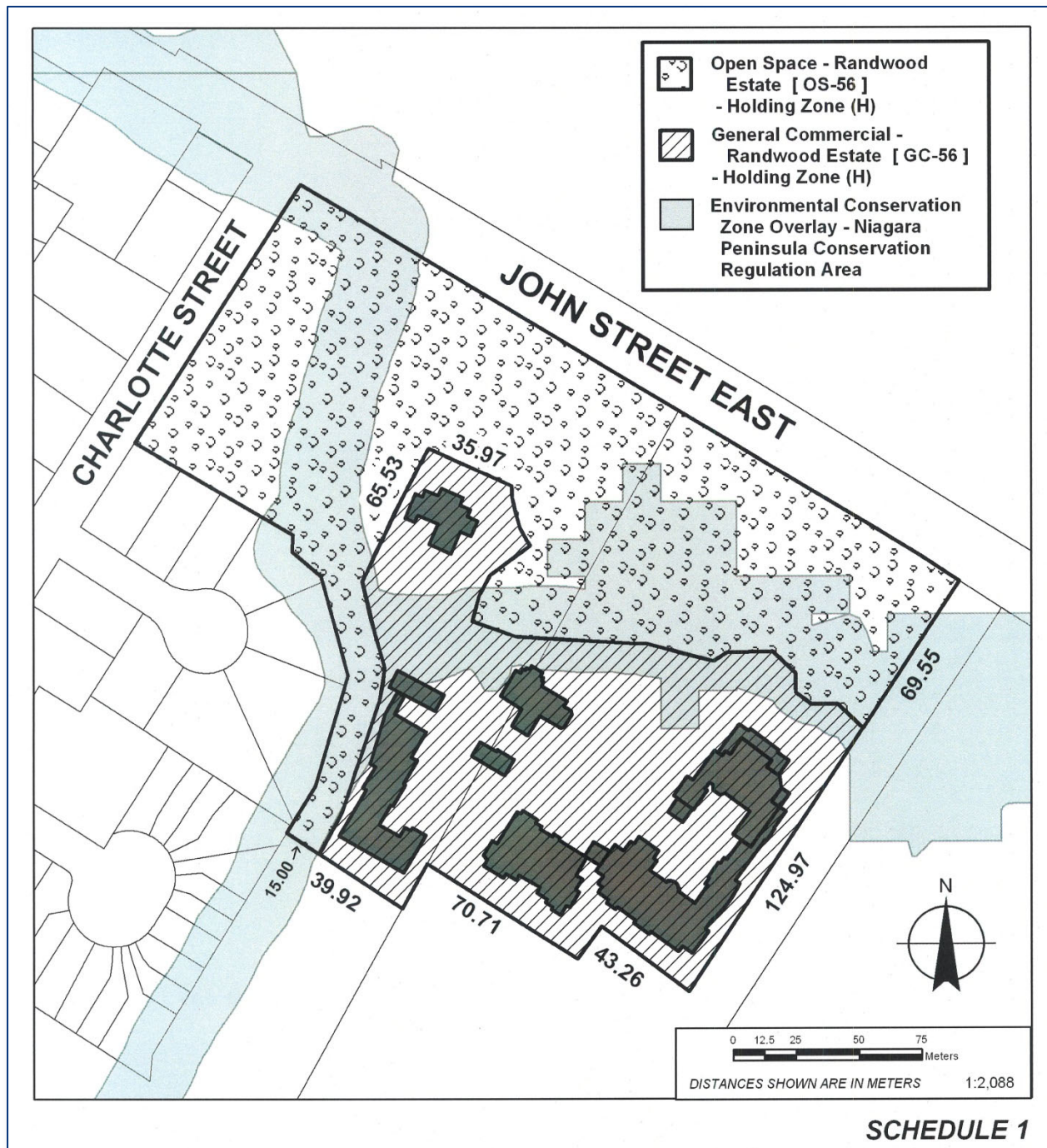


Figure 7.14.56F(ii): Randwood Estates Building Setbacks



7.14.57 66-76 Picton Street (as amended by 4316U-12, as approved by OMB decision January 24, 2012)

Notwithstanding Sections 7.7.4, 7.7.5, and 7.7.6 of the Queen Picton Commercial (QPC) Zone, the following requirements shall apply to the lands zoned Queen Picton Commercial (QPC-57) Zone as identified on Schedule 'A-1':

7.14.57.1 Zone Requirements:

(a)	Front yard and interior side yard setback	0.0 m (0 ft)
(b)	Rear yard setback	7.5 m (25 ft)
(c)	Maximum building height	10.67 m (35 ft) and three storeys
(d)	Maximum lot coverage	50%

7.14.58 443 Nassau Street (RM1-58) (as amended by 4316Y-12)

Notwithstanding the provisions of the "Old Town Community Zoning District – Established Residential (ER) Zone", the following special provisions shall apply to those lands identified as RM1-58 on Schedule 'A-3'.

7.14.58.1 Permitted Uses:

- (a) as existing

7.14.58.2 Zone Requirements:

(a)	As existing
-----	-------------

7.14.59 255 King Street (as amended by 4316AA-12)

Notwithstanding the provisions of the "Old Town Community Zoning District – Established Residential (ER-59) Zone" the following special provisions shall apply to those lands identified as ER-59 on Schedule 'A-1':

7.14.59.1 Permitted Uses:

- (a) four (4) room *country inn* within the existing residential dwelling

7.14.59.2 Zone Requirements:

(a)	Minimum number of parking spaces	6 spaces
(b)	Minimum dimension of existing parking spaces	2.75 m X 4.97 m
(c)	Minimum setback for the parking area along the exterior side lot line	0 m

7.14.59.3 Notwithstanding the provisions of Section 6.10 (g) of Zoning Bylaw 4316-09, the following shall apply:

- (a) Parking spaces for a country inn shall be permitted within a required exterior side yard.

7.14.60 29 Platoff Street (as amended by 4316AE-12)

Notwithstanding the provisions of the “Old Town Community Zoning District – Queen Picton Commercial (QPC) Zone,” the following special provisions shall apply to those lands identified as QPC-60 on Schedule ‘A-1’:

7.14.60.1 Permitted Uses:

- (a) *commercial entertainment establishment*

7.14.60.2 Zone Requirements:

- | | |
|-----|--|
| (a) | As existing on the date of passage of this By-law. |
|-----|--|

7.14.60.3 A 1.524 m (5.0 ft) wide buffer strip adjacent to a residential zone shall not be required.

7.14.60.4 For the purposes of this By-law, a commercial entertainment establishment shall not include a bingo hall.

7.14.61 244 Regent Street (as amended by 4316AF-12 and 4316AF(1)-12)

Notwithstanding the provisions of the “Old Town Community Zoning District – Established Residential (ER) Zone” the lands identified on Schedule ‘A-1’ as ER-61 shall be zoned ER.

7.14.62 135 Queen Street - See Schedule A-1 (as amended by 4316BG-14)

In accordance with Section 4.5 – Site Specific Exceptions and the provisions of the Old Town Community Zoning District, the following special provisions shall apply to those lands identified as QPC-62 on Schedule “A-1”:

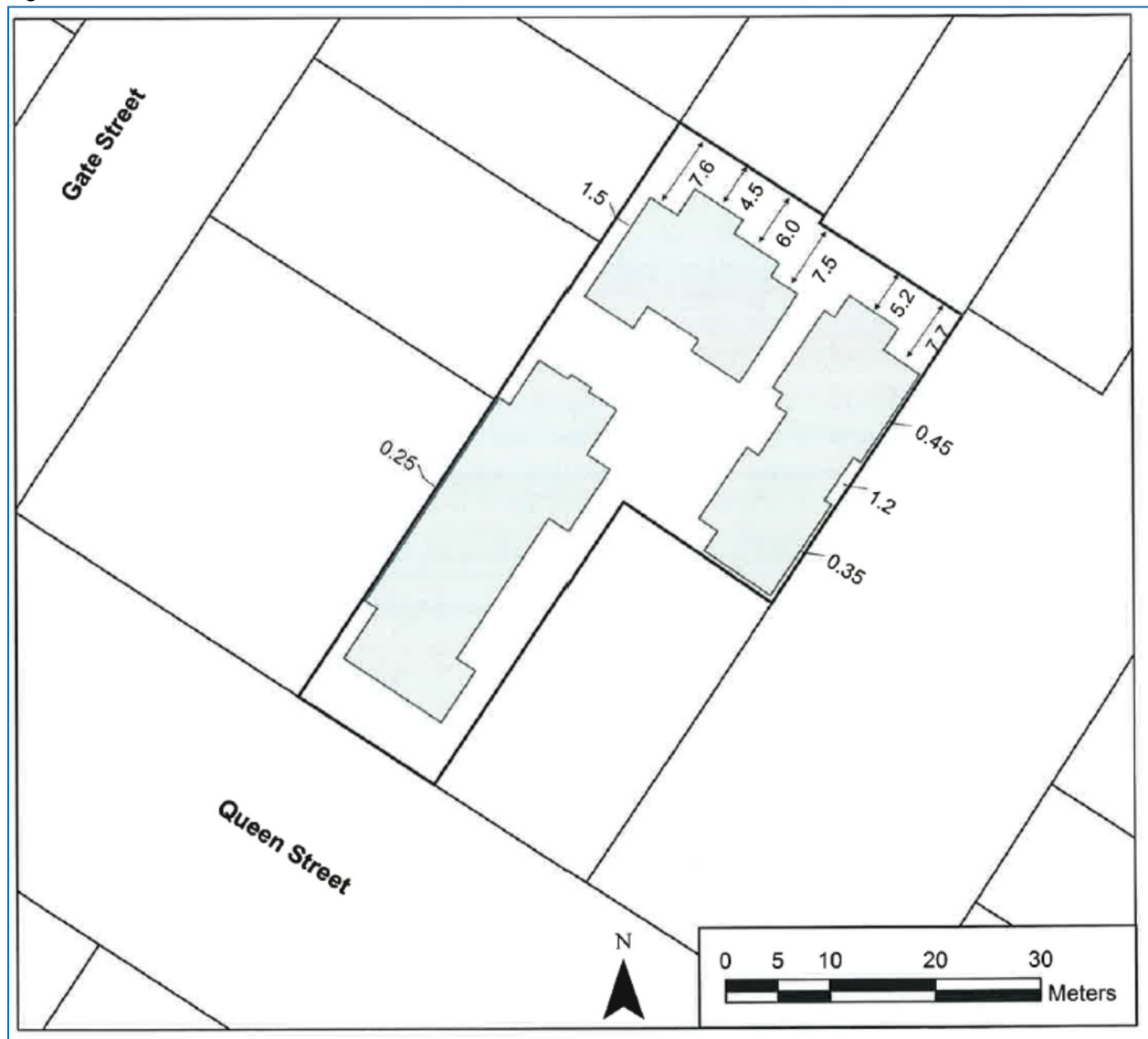
7.14.62.1 Zone Requirements:

(a)	Minimum lot frontage	15.33m (50.29ft)
(b)	Minimum lot depth	33.69m (110.5ft.)
(c)	Minimum rear yard setback shall be staggered as per figure 7.14.62F below	
(d)	Maximum building heights	7.39m (24.25 ft.)
(e)	Maximum lot coverage	60%
(f)	Buffer strip abutting a residential zone	1.524m (5 ft.)

7.14.62.2 Parking and Parking Space Requirements:

Notwithstanding the provisions of Section 6.38 “Parking Requirements” and Section 6.39 “Parking Space Requirements” of Zoning By-law 4316-09, as amended, those lands shown on the schedule attached hereto, is relieved from the parking requirements for 18 spaces.

Figure 7.14.62: 135 Queen Street



7.14.63 Evergreen Lane (Regent Street closed road allowance), Evergreen Estates - See Schedule A-2 (R2-63) (as amended by 4316BA-14)

In accordance with Section 4.5 – Site Specific Exceptions and the provisions of the “Old Town Community Zoning District – Residential (R2) Zone”, the following special

provisions shall apply to those lands identified as R2-63-H on Schedule “A-2” on the schedule attached hereto:

7.14.63.1 Zone Requirements:

(a)	Minimum lot frontage per unit	8.23 m (27.0 ft)
(b)	Maximum lot coverage per unit	50%
(c)	Minimum front yard setback to front face of dwelling	4.4 m (14.44 ft)
(d)	Minimum front yard setback to front face of attached garage	6.0 m (19.69 ft)
(e)	Minimum interior side yard setback	0.6 m (2 ft)
(f)	Minimum landscaped open space per unit	35%
(g)	Maximum building height to peak of roof	10.69 m (35.0 ft)
(h)	Minimum rear yard setback to an unenclosed and uncovered porch, deck, patio or step	4.5 m (14.76 ft)

7.14.64 7 Queen Street (The Exchange Microbrewery) See Schedule ‘A-1’ (QPC-6) (as amended by 4316AO-13)

Notwithstanding the provisions of Section 7.7 Queen Picton Commercial (QPC) Zone, the following use shall also be permitted:

7.14.64.1 Permitted Uses:

- (a) *microbrewery*
 - (i) maximum of 50 m² of production space with the remaining ground floor area being devoted to retail

7.14.65 411 Nassau Street - See Schedule ‘A-3’ (ER-65-H) (as amended by 4316BE-14, 4316BE(1)-15)

In accordance with Section 4.5 – Site Specific Exceptions and the provisions of the “Old Town Community Zoning District – Established Residential (ER) Zone”, the following special provisions shall apply to those lands identified as ER-65 on Schedule “A-3” and as Parts 1 & 2 on the schedule attached hereto:

7.14.65 Zone Requirements:

PART 1

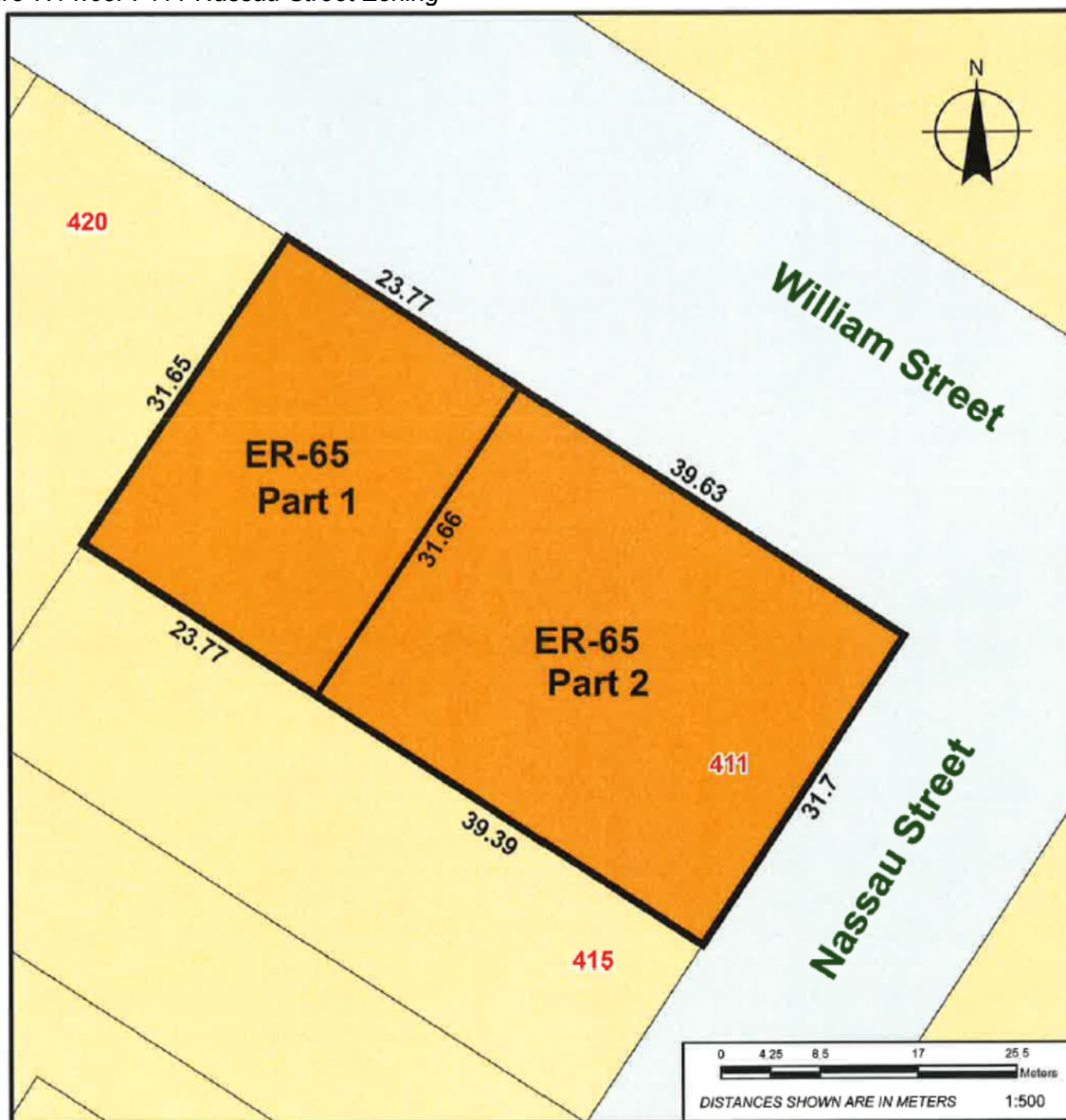
(a)	Minimum lot frontage	23.77 m (77.9 ft)
(b)	Minimum lot depth	31.5 m (103.3 ft)
(c)	Minimum lot area	740 m ² (7,966 ft ²)
(d)	Minimum front yard setback	6.0 m (19.7 ft)

(e)	Maximum lot coverage	35%
-----	----------------------	-----

PART 2

(a)	Minimum lot frontage	15 m (49.2 ft)
(b)	Minimum lot depth	39 m (128 ft)
(c)	Minimum lot area	585 m ² (6,297.1 ft ²)

Figure 7.14.65F: 411 Nassau Street Zoning



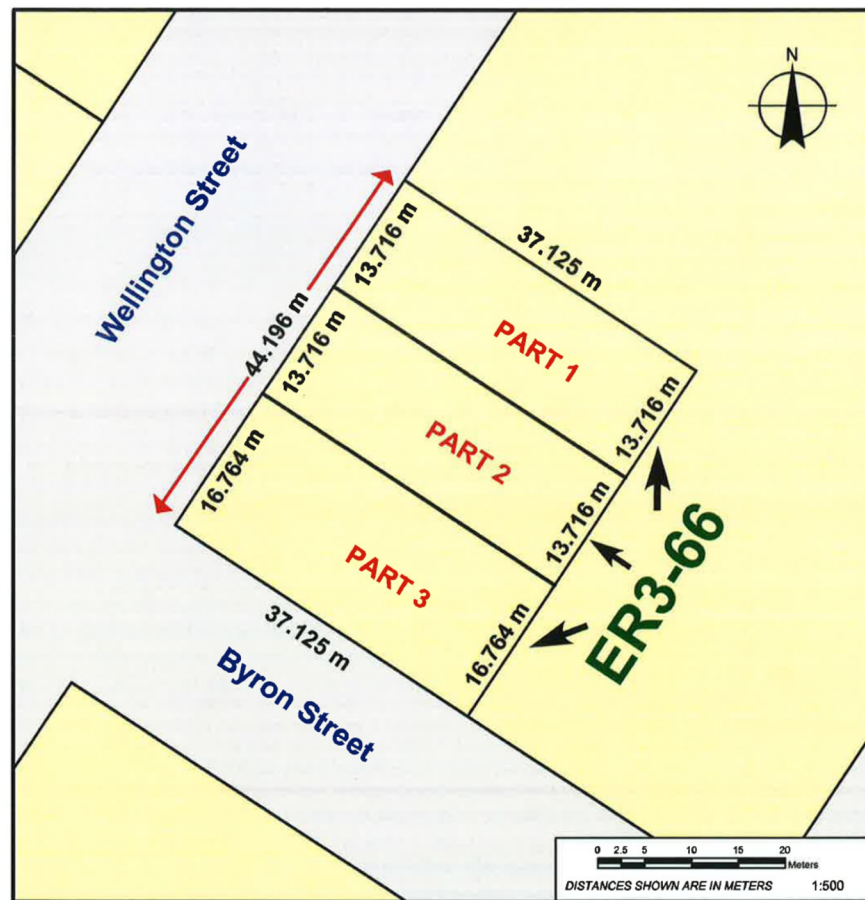
7.14.66 113 Byron Street - See Schedule 'A-1' (ER3-66) (as amended by 4316BK-15)

In accordance with Section 4.5 - Site Specific Exceptions and the provisions of the "Old Town Community Zoning District - Established Residential (ER3) Zone", the following special provisions shall apply to those lands identified as ER3-66 on Schedule "A-1":

7.14.66 Zone Requirements:

(a)	Minimum lot frontage for lots identified as Part 1 and Part 2	13 m
(b)	Minimum lot frontage for lot identified as Part 3	16 m
(c)	Minimum lot depth	37 m
(d)	Minimum front yard setback	3.3 m
(e)	Maximum lot coverage	40%
(f)	Minimum exterior side yard setback	2.5 m
(g)	Driveway setback from the interior property line	0.6 m
(h)	Minimum rear and interior side yard setback for accessory buildings	1.22 m
(i)	Front yard setback for attached or detached garage	19 m

Figure 7.14.66F: 113 Byron Street



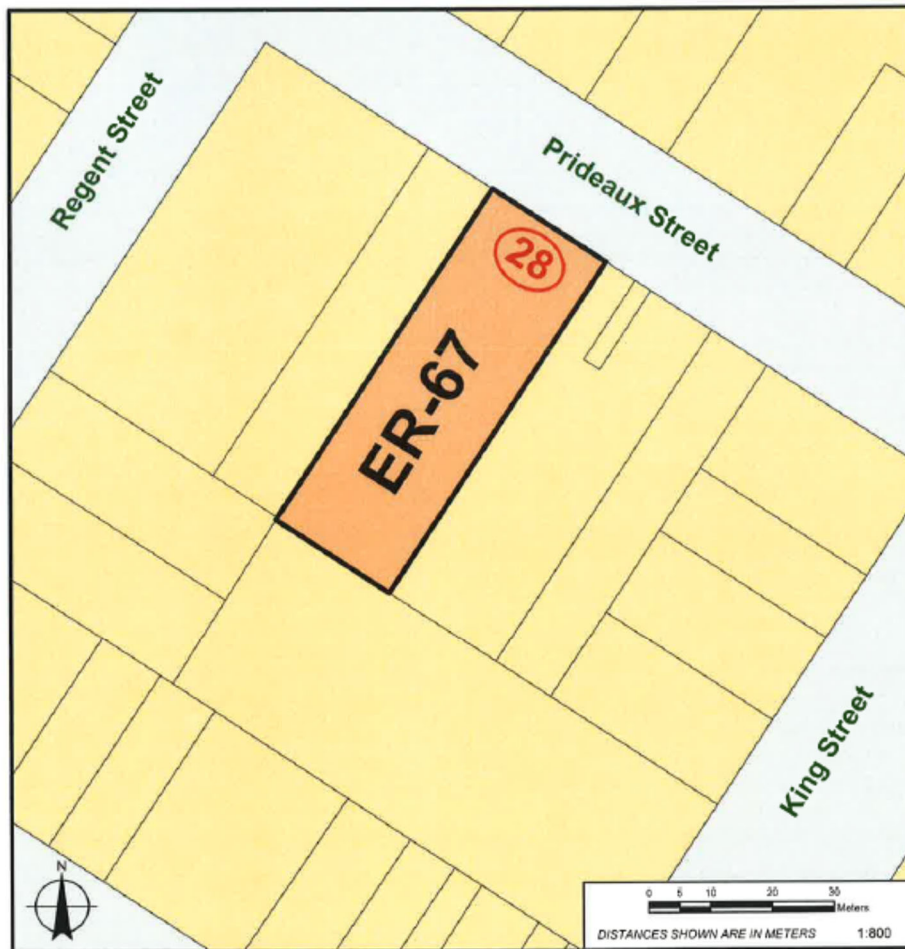
7.14.67 28 Prideaux Street - See Schedule 'A-1' (ER-67)

In accordance with Section 4.5 – Site Specific Exceptions and the provisions of the Old Town Community Zoning District, the following use shall also apply to those lands identified as ER-67 on Schedule “A-1”:

7.14.67.1 Permitted Uses:

- (a) four (4) room *Country Inn* in accordance with Section 6.10

Figure 7.14.67F: 28 Prideaux Street



7.14.68 560 Mississagua Street - See Schedule 'A-2' (ER-68) (as amended by 4316BN-16 approved by the OMB - June 13, 2016)

In lieu of the corresponding provisions of Subsection 7.1.2, the following provisions shall apply on the subject lands:

7.14.68.1 Zone Requirements:

PART 1

(a)	Minimum lot frontage	16.0 m (52.5 ft)
(b)	Minimum lot depth	30.0 m (98.4 ft)
(c)	Maximum width of garage face	50% of total building face

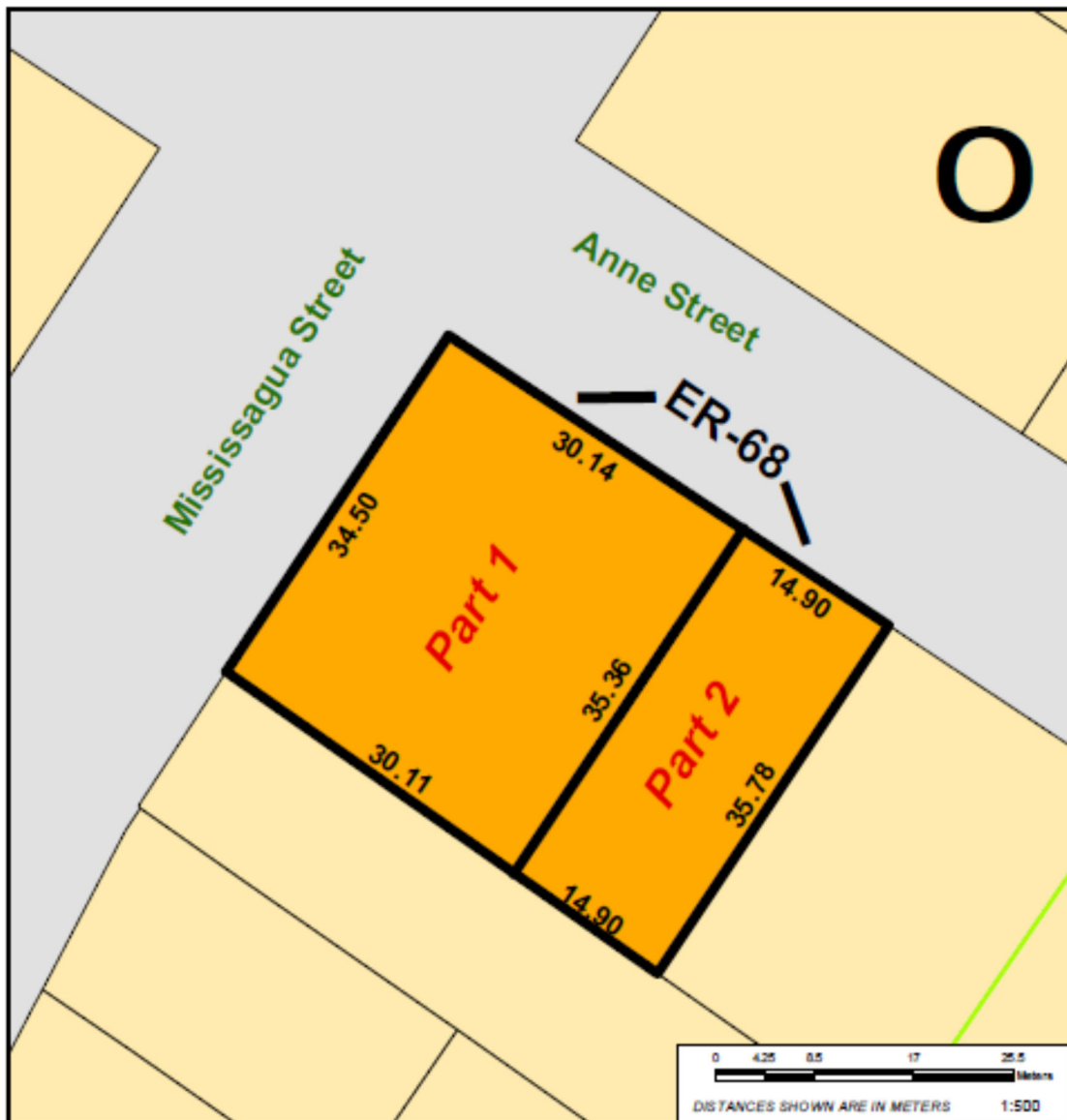
PART 2

(a)	Minimum lot frontage	14.7 m (48.2 ft)
(b)	Minimum lot depth	35.3 m (115.8 ft)

(c)	Maximum width of garage face	50% of total building face
-----	------------------------------	----------------------------

- 7.14.68.2 Balconies are not a permit use on the second floor of any dwelling of any dwelling on the subject lands.

Figure 7.14.66F: 560 Mississauga Street



7.14.69 135 John Street West - See Schedule 'A-2' (RM1-69) (as amended by 4316BN-16)

In lieu of the corresponding provisions of Subsection 7.5, the following uses and provisions shall apply on the subject lands:

7.14.69 Zone Requirements:

7.14.69.1 *townhouse or row dwelling*

(a)	A detached or attached garage shall be setback from the front lot line a minimum of 1.0 m (3.28 ft) greater than the setback of the main building.	
(b)	Maximum width of garage door	50% of dwelling face
(c)	Maximum interior side yard setback - for common walls	12.3 m (3.90 ft) 0 m (0 ft)
(d)	Minimum rear yard setback to covered porch, deck or patio	6.5 m (21.33 ft)
(n)	Minimum interior side yard setback to a driveway and required uncovered surface parking area	0.3 m (1.0 ft)

Figure 7.14.69F: 135 John Street West



7.14.70 535 Gate Street - See Schedule 'A-2' (ER-70) (as amended by 4316BQ-15)

In accordance with Section 4.5 – Site Specific Exceptions and in lieu of the corresponding provisions of the "Old Town Community Zoning District - Established Residential (ER) Zone", the following provisions shall apply to those lands identified at ER-70 on Schedule "A-2".

7.14.70 Zone Requirements:

(a)	Minimum lot frontage Part 1	19.8 m (64.96 ft)
-----	-----------------------------	-------------------

(b)	Minimum lot frontage for Part 2	18.2 m (59.71 ft)
(c)	Minimum lot Depth	24.6 m (80.70ft)
(d)	Minimum front yard setback	6 m (19.68 ft)
(e)	Minimum rear yard setback	6 m (19.68 ft)
(f)	Maximum lot coverage	35%

Figure 7.14.70 F: 535 Gate Street



7.14.71 683 King Street - See Schedule 'A-2' (R1-71-H & RM1-71-H)
(as amended by 4316BV-15)

In lieu of the corresponding provisions of Subsection 7.3.2, the following provisions shall apply on the subject lands identified as R1-71-H:

7.14.71.1 R1-71-H Zone Requirements:

(a)	Maximum <i>lot frontage</i>	None
(b)	Minimum <i>lot area</i>	590 m ² (6350.7 ft ²)
(c)	Maximum <i>lot area</i>	None
(d)	(i) Maximum <i>lot coverage</i> (ii) Additional <i>lot coverage</i> for covered porch/deck in the rear yard	45% 5%
(e)	Minimum <i>landscaped open space</i>	30%
(f)	(i) Minimum <i>front yard setback</i> (ii) Minimum <i>front yard setback</i> to <i>attached</i> or detached <i>garage</i> , where the garage door is on a <i>front wall</i> (iii) Minimum <i>front yard setback</i> to <i>attached garage</i> , where the garage door is not on a <i>front wall</i> (iv) In addition to the above, an <i>attached</i> or detached <i>garage</i> , where the garage door is on a <i>front wall</i> , shall be located at least 1 m (3.28 ft) further from the <i>front lot line</i> than the <i>main building</i> , which includes a covered <i>porch</i> in the <i>front yard</i>	4.0 m (13.1 ft) 6.0 m (19.5 ft) 4.0 m (13.1 ft)
(g)	When the <i>front wall</i> of an <i>attached garage</i> does not contain the garage door, said <i>front wall</i> shall contain at least one window of vertical or square proportions. The lowest point of the required window shall be a maximum of 1.2 m above the adjoin <i>finished grade</i>	
(h)	Maximum width of garage door	50% of <i>dwelling façade</i> which faces the <i>front lot line</i>
(i)	Minimum depth of <i>porch</i> in <i>front yard</i>	2.0 m (6.5 ft)
(j)	Minimum interior side yard setback (i) for <i>lots</i> with King Street <i>frontage</i> (ii) for all other <i>lots</i>	1.5 m (4.9 ft) 1.2 m (3.9 ft)
(k)	Minimum <i>exterior side yard setback</i>	3.2 m (9.8 ft)
(l)	Covered/uncovered and <i>unenclosed porch, deck, patio</i> or steps may encroach 1.5 m into the <i>required rear yard</i> and 0.5 m into <i>required exterior side yard</i>	

7.14.71 R1-71-H Permitted Uses:

Only the following uses shall apply on the lands identified as RM1-71-H:

- (a) *accessory building and structures* in accordance with Section 6.21
- (b) *group home* in accordance Section 6.20
- (c) *townhouse or row dwelling*

7.14.71.3 RM1-71-H Zone Requirements:

In lieu of the corresponding provisions of Subsection 7.5.2.2, the following provisions shall apply on the subject lands identified as RM1-71-H:

Townhouse or row dwelling:

(a)	Maximum <i>lot frontage</i> of unit (i) Interior unit (ii) Exterior unit	10.0 m (32.8 ft) 10.0 m (32.8 ft)
(b)	Maximum total <i>lot coverage</i> for the development	50%
(c)	Minimum <i>front yard setback</i> from a <i>private road</i> (i) <i>Main building</i> (ii) <i>Attached garage</i>	4.6 m (15.0 ft) 6.0 m (19.5 ft)
(d)	An <i>attached</i> or detached <i>garage</i> shall be located at least 1 m (3.28 ft) further from a <i>private road</i> than the <i>main building</i>	
(e)	Minimum <i>exterior side yard setback</i> from a <i>private road</i>	3.0 m (9.8 ft)
(f)	Minimum <i>yard setback</i> from a <i>property line</i> (i) for <i>interior side yard</i> of a unit (ii) for <i>exterior side yard</i> of a unit (iii) for <i>rear yard</i> of a unit	1.5 m (4.9 ft) 4.5 m (14.7 ft) 9.0 m (29.5 ft)
(g)	Covered/uncovered and <i>unenclosed porch, deck, patio</i> or steps may encroach 3.7 m into a <i>required rear yard</i> of a unit	
(h)	Maximum width of garage door	50% of <i>dwelling façade</i> which faces the <i>front lot line</i>

7.14.71.4 That development of the lands shall only be permitted upon removal of the Holdings ("H1" and "H2") provisions. The Holding ("H1") provisions shall be removed upon completion of the archaeological assessment and clearance by the ministry of Tourism, Culture, and sport to the satisfaction of the Corporation of the town of Niagara-on-the-Lake. The Holdings ("H2") provision shall be removed upon the completion of the Niagara-on-the-Lake Wastewater Treatment Plant, or when it can be proven that there is capacity in the existing plant for this

development, to the satisfaction of The Corporation of the Town of Niagara-on-the-Lake.

7.14.72 624 & 636 Rye Street - See Schedule 'A-2' (R1-72) (as amended by 4316BX-15)

In accordance with Section 4.5 – Site Specific Exceptions and the provisions of the "Old Town Community Zoning District - Residential (R1) Zone", the following special provisions shall apply to those lands identified at R1-72 on Schedule "A-2".

7.14.72 Zone Requirements:

PART 1

(a)	Maximum lot frontage	24.7 m
(b)	Minimum front yard setback	6.5 m

PART 2

(a)	Maximum lot frontage	36.3 m
(b)	Maximum lot area	3402 m ²

Figure 7.14.71 F: 624 & 636 Rye Street

