

In the matter of the Planning Act, R.S.O. 190, c. P.13, s. 45:

DECISION: File No. Minor Variance A-15/26 – 346 Concession 3 Road

Assessment Roll Number: 2627020024100590000

Description of the Land and Purpose and Effect of the Proposed Minor Variance:

Minor Variance Application A-15/26 is made to facilitate the construction of a rear yard covered patio and relief as follows:

1. Minimum rear yard setback from 7.6 metres, as required in the Zoning By-law, to 6.2 metres for the proposed covered patio;
2. Minimum rear yard setback from 7.6 metres, as required in the Zoning By-law, to 5.5 metres for the proposed fireplace bump out; and
Maximum lot coverage from 45%, as required in the Zoning By-law, to 46% to accommodate the proposed addition.

Decision: Granted.

Reasons: The Committee of Adjustment considered the oral and written submissions and agrees with the minor variance report analysis and recommendation that this application meets the four Planning Act tests for minor variance:

- a. The variance is minor in nature.
- b. The variance is appropriate for the development of the land.
- c. The general intent and purpose of the Zoning By-law is maintained.
- d. The general intent and purpose of the Official Plan is maintained.

Date of Decision: August 20, 2026.

The last date for filing a notice of appeal is September 9, 2026.

A notice of appeal:

1. must be filed with the Secretary-Treasurer;
2. must set out the reasons for the appeal; and
3. must be accompanied by the fee required by the Ontario Land Tribunal.

An appeal to the Ontario Land Tribunal (OLT) in respect to all or part of this decision may be made by filing a notice of appeal with the Secretary-Treasurer by one (1) of the following means:

1. Through the Ontario Land Tribunal e-file service (first-time users will need to register for a My Ontario Account) at <https://olt.gov.on.ca/e-file-service/> by selecting the Town of Niagara-on-the-Lake as the Approval Authority; or,
2. Through providing physical copies of the appeal materials to Town Hall 1593 Four Mile Creek Road, P.O. Box 100, Virgil, ON L0S 1T0
3. Through providing electronic copies of the appeal materials to the Secretary-Treasurer at natalie.thomson@notl.com.

The appeal fee can be paid online through e-file or by certified cheque/money order and submitted to the Town (certified cheque/money order to be addressed to the Minister of Finance, Province of Ontario). Further information and the required forms are available on the OLT website at www.olt.gov.on.ca.

Further notice and appeal eligibility:

Please note neighbours and other interested parties not defined by the Planning Act are no longer eligible to file appeals for this application as per Bill 23, More Homes Built Faster Act, 2022. Planning Act appeals may be filed by the applicant, the Minister of Municipal Affairs and Housing, a “specified person” (as defined by Planning Act 1(1)), and any “public body” (as defined by Planning Act 1(1)).

Information regarding the Local Planning Appeals Tribunal can be found at;
<https://www.ontario.ca/document/citizens-guide-land-use-planning/ontario-land-tribunal>

Consent was obtained by the Secretary Treasurer on August 20, 2026 to insert electronic signatures of Committee members below;



Steve Bartolini
Committee of Adjustment



Margaret Louter (Vice Chair)
Committee of Adjustment



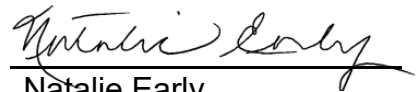
Eric Lehtinen (Chair)
Committee of Adjustment



Paul Johnson
Committee of Adjustment



Angelo Miniaci
Committee of Adjustment



Natalie Early
Committee of Adjustment



Chris Van de Laar
Committee of Adjustment

I, Natalie Thomson, Secretary Treasurer of the Committee of Adjustment for the Town of Niagara-on-the-Lake, hereby certify that the above is a true copy of the decision of the Committee of Adjustment with respect to the application recorded herein.

DATED at the Town of Niagara-on-the Lake on August 21, 2026.



Natalie Thomson, Secretary-Treasurer

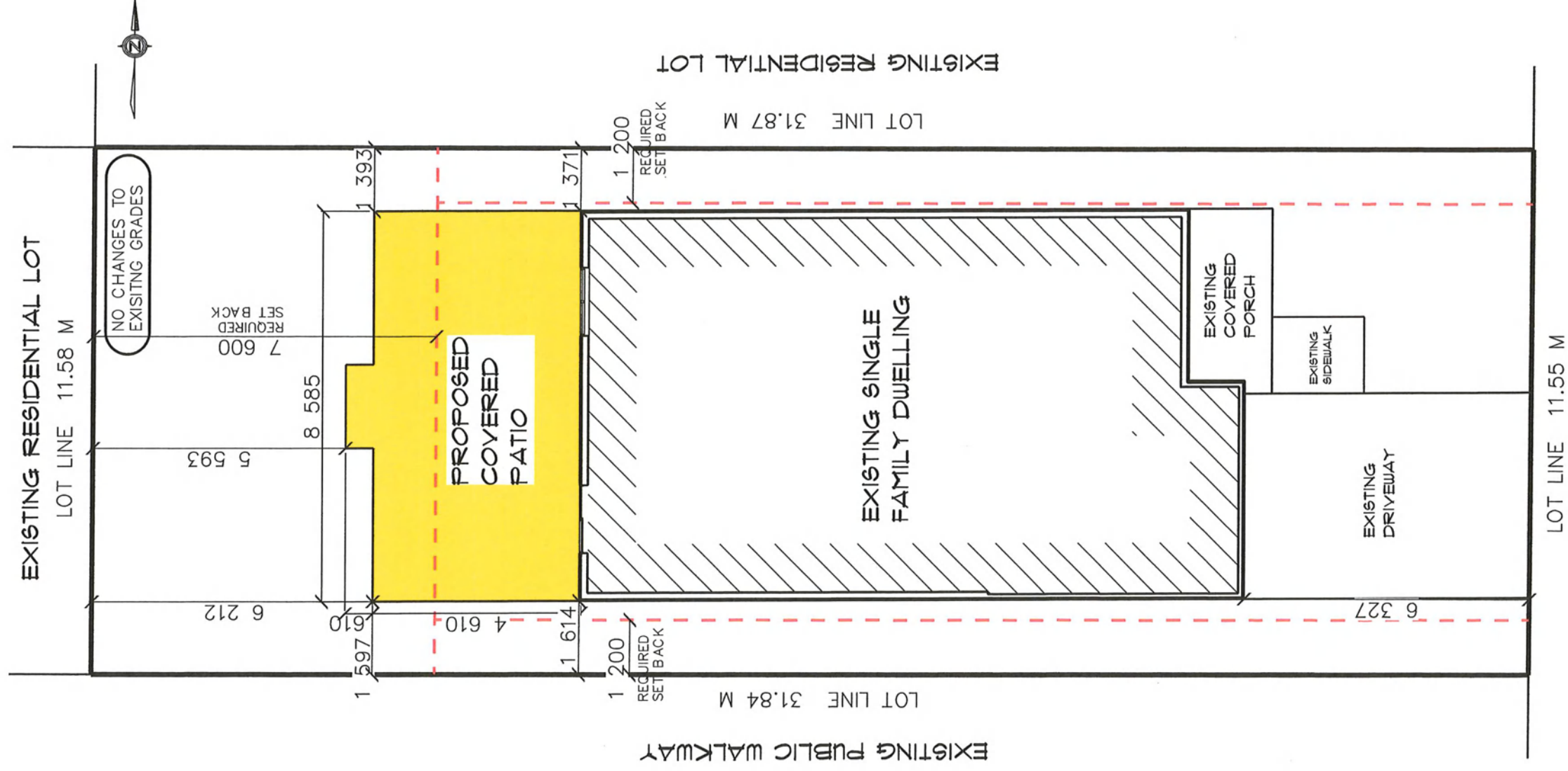
PLAN 30M422 LOT 209
IN THE TOWN OF NIAGARA-ON-THE-LAKE
REGION MUNICIPALITY OF NIAGARA
#346 CONCESSION 3 ROAD

LOT AREA = 370.54 SQ M
EXISTING HOUSE BUILDING AREA = 121.80 SQ M
EXISTING COVERED PORCH BUILDING AREA = 7.06 SQ M
PROPOSED COVERED PATIO BUILDING AREA= 40.4 SQ M
NEW TOTAL BUILDING AREA = 169.26 SQ M
NEW % LOT COVERAGE = 45.7%
PROPOSED COVERED PATIO % LOT COVERAGE = 10.9%

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PROPOSED COVERED PATIO BUILDING AREA= 40.4 SQ M
NEW TOTAL BUILDING AREA = 169.26 SQ M
NEW % LOT COVERAGE = 45.7%
PROPOSED COVERED PATIO % LOT COVERAGE = 10.9%

NEW HARDSCAPE AREA = 32.08 SQ M
NEW SOFTSCAPE AREA = 169.2 SQ M
NEW OPEN LANDSCAPE AREA = 201.28 SQ M
NEW % OPEN LANDSCAPING = 54.32 %
REQUIRED OPEN LANDSCAPE IS 30% = 111.16 SQ M

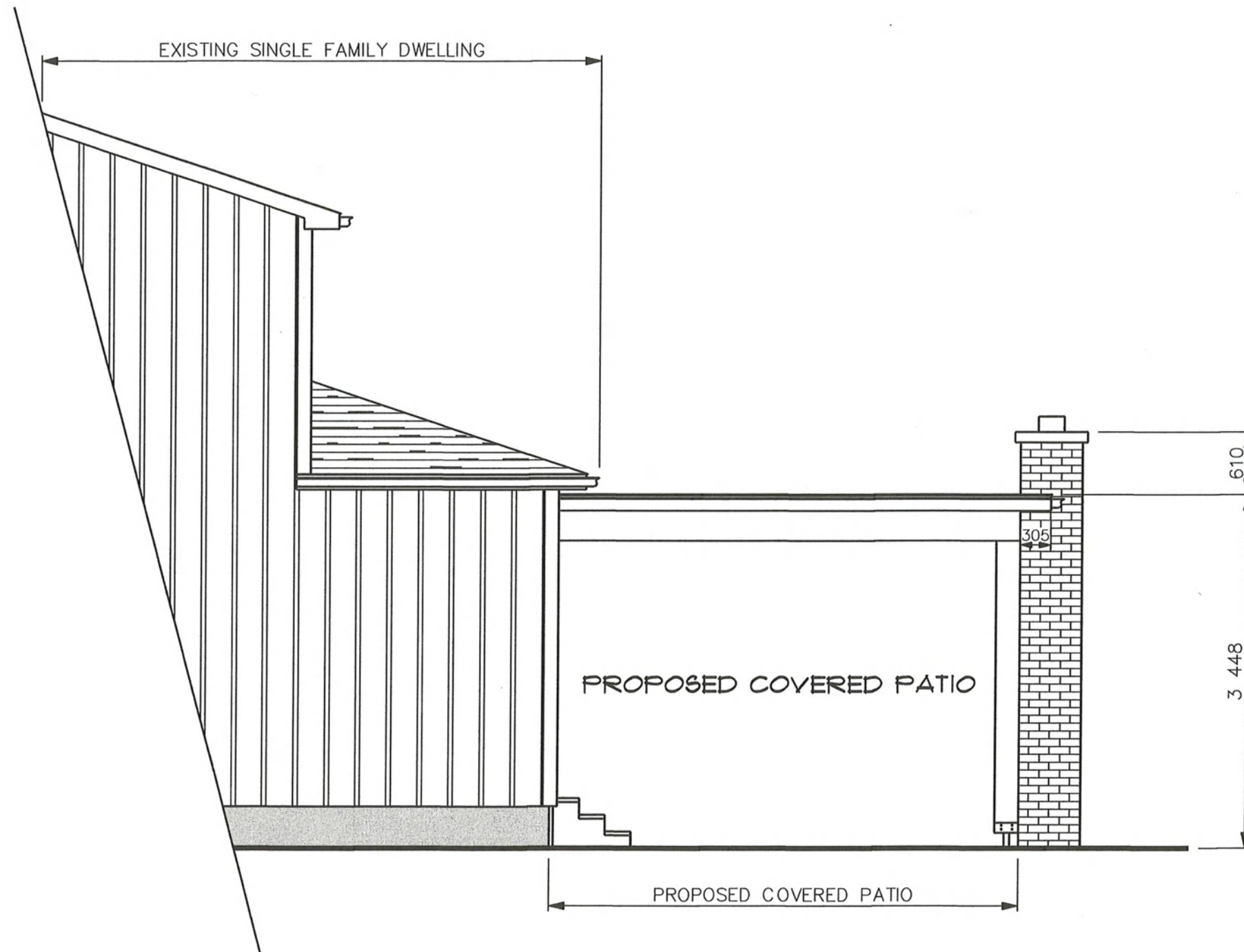
REQUIRED OPEN LANDSCAPE IS 30% = 111.16 SQ M



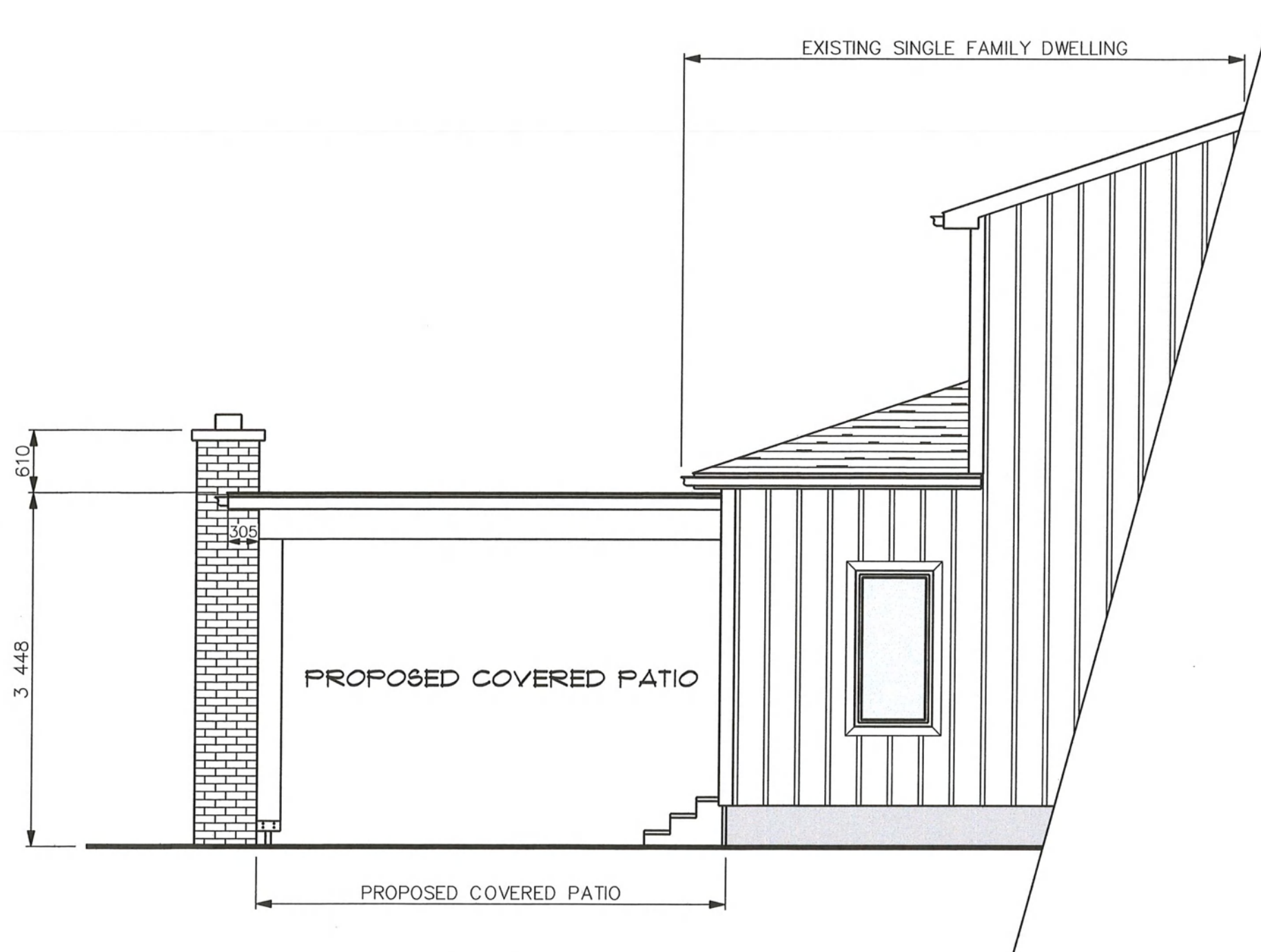
LOT LINE 11.55 M

CONCESSION 3 ROAD

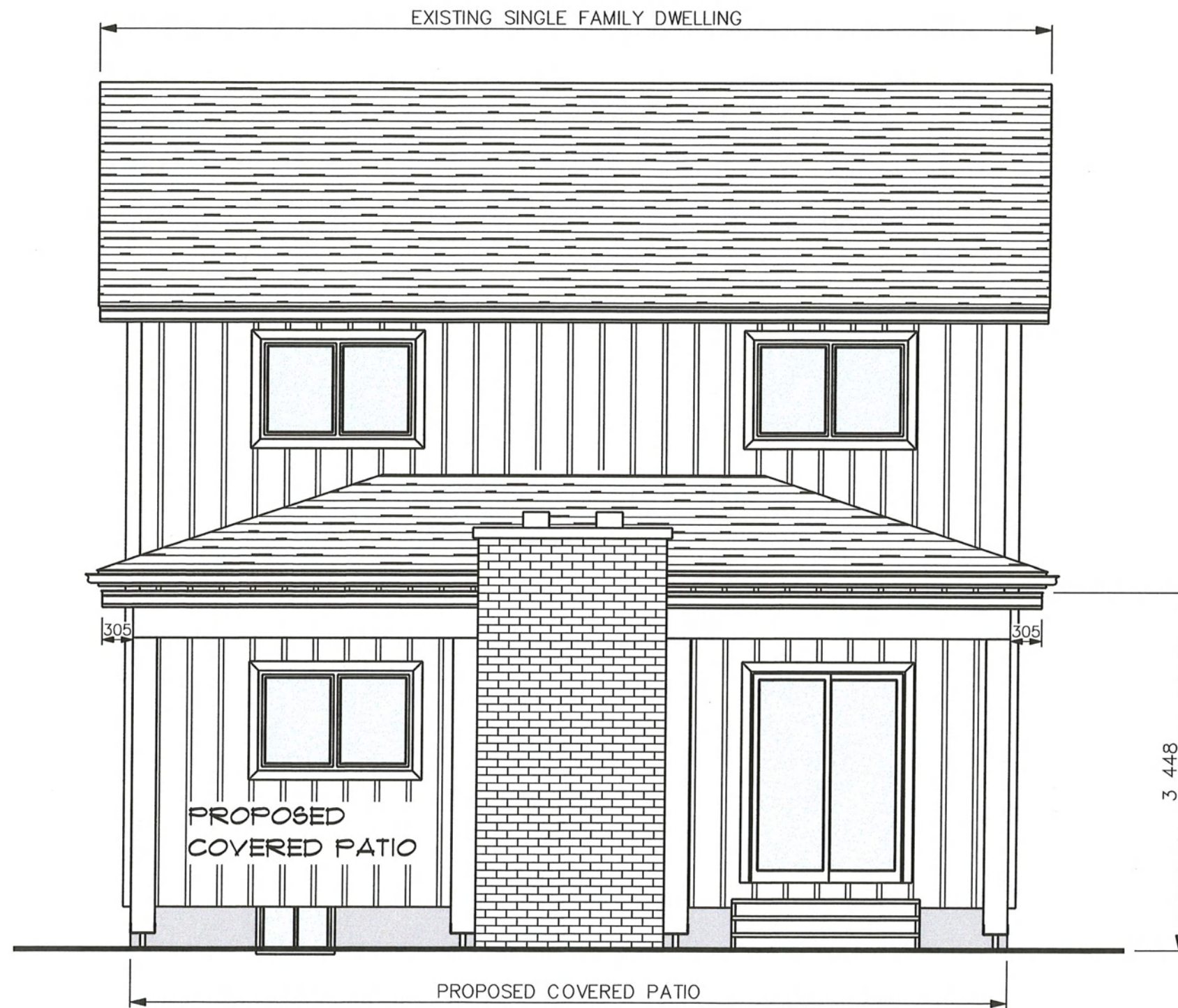
(PUBLIC TRAVELLED ROAD)



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION