

In the matter of the Planning Act, R.S.O. 190, c. P.13, s. 45:

DECISION: File No. Minor Variance A-14/26 – 646 King Street
Assessment Roll Number: 2627010002076000000

Description of the Land and Purpose and Effect of the Proposed Minor Variance:

Minor Variance Application A-14/26 is made to facilitate the construction of a rear mudroom addition and deck and requests relief as follows:

1. Minimum rear yard setback from 7.5 metres, as required in the Zoning By-law, to 6.1 metres for the proposed mudroom addition; and
2. Maximum encroachment of unenclosed and uncovered deck/steps from 1.5 metres, as required in the Zoning Bylaw, to 2.1 metres for the proposed rear deck and steps.

Decision: Granted.

Reasons: The Committee of Adjustment considered the oral and written submissions and agrees with the minor variance report analysis and recommendation that this application meets the four Planning Act tests for minor variance:

- a. The variance is minor in nature.
- b. The variance is appropriate for the development of the land.
- c. The general intent and purpose of the Zoning By-law is maintained.
- d. The general intent and purpose of the Official Plan is maintained.

Date of Decision: August 20, 2026.

The last date for filing a notice of appeal is September 9, 2026.

A notice of appeal:

1. must be filed with the Secretary-Treasurer;
2. must set out the reasons for the appeal; and
3. must be accompanied by the fee required by the Ontario Land Tribunal.

An appeal to the Ontario Land Tribunal (OLT) in respect to all or part of this decision may be made by filing a notice of appeal with the Secretary-Treasurer by one (1) of the following means:

1. Through the Ontario Land Tribunal e-file service (first-time users will need to register for a My Ontario Account) at <https://olt.gov.on.ca/e-file-service/> by selecting the Town of Niagara-on-the-Lake as the Approval Authority; or,
2. Through providing physical copies of the appeal materials to Town Hall 1593 Four Mile Creek Road, P.O. Box 100, Virgil, ON L0S 1T0
3. Through providing electronic copies of the appeal materials to the Secretary-Treasurer at natalie.thomson@notl.com.

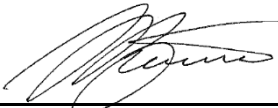
The appeal fee can be paid online through e-file or by certified cheque/money order and submitted to the Town (certified cheque/money order to be addressed to the Minister of Finance, Province of Ontario). Further information and the required forms are available on the OLT website at www.olt.gov.on.ca.

Further notice and appeal eligibility:

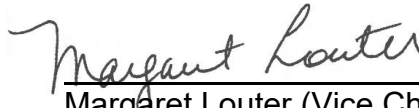
Please note neighbours and other interested parties not defined by the Planning Act are no longer eligible to file appeals for this application as per Bill 23, More Homes Built Faster Act, 2022. Planning Act appeals may be filed by the applicant, the Minister of Municipal Affairs and Housing, a "specified person" (as defined by Planning Act 1(1)), and any "public body" (as defined by Planning Act 1(1)).

Information regarding the Local Planning Appeals Tribunal can be found at;
<https://www.ontario.ca/document/citizens-guide-land-use-planning/ontario-land-tribunal>

Consent was obtained by the Secretary Treasurer on August 20, 2026 to insert electronic signatures of Committee members below;



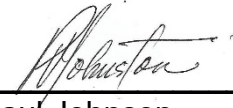
Steve Bartolini
Committee of Adjustment



Margaret Louter (Vice Chair)
Committee of Adjustment



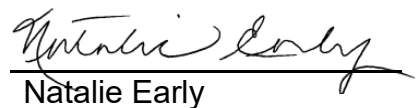
Eric Lehtinen (Chair)
Committee of Adjustment



Paul Johnson
Committee of Adjustment



Angelo Miniaci
Committee of Adjustment



Natalie Early
Committee of Adjustment



Chris Van de Laar
Committee of Adjustment

I, Natalie Thomson, Secretary Treasurer of the Committee of Adjustment for the Town of Niagara-on-the-Lake, hereby certify that the above is a true copy of the decision of the Committee of Adjustment with respect to the application recorded herein.

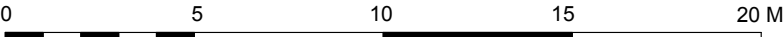
DATED at the Town of Niagara-on-the Lake on August 21, 2026.



Natalie Thomson, Secretary-Treasurer

INFORMATION ON THIS SITE PLAN TAKEN FROM
SURVEYOR'S REAL PROPERTY REPORT
PLAN OF SURVEY OF
LOT 20
REGISTRAR'S COMPILED PLAN No. 692
TOWN OF NIAGARA-ON-THE-LAKE

REGIONAL MUNICIPALITY OF NIAGARA



SCALE 1 : 200

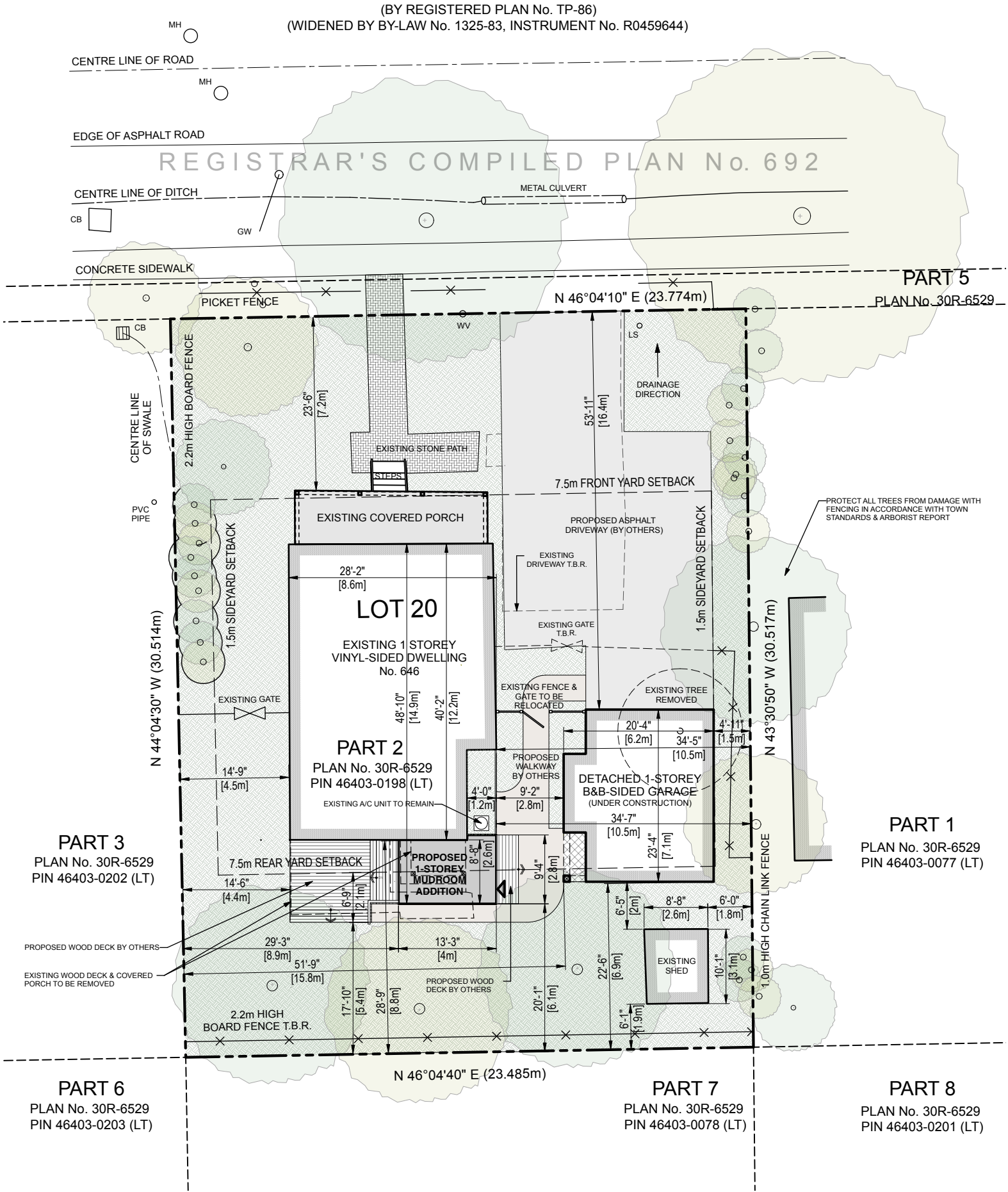
Richard Larocque Limited
Ontario Land Surveyors & Consultants

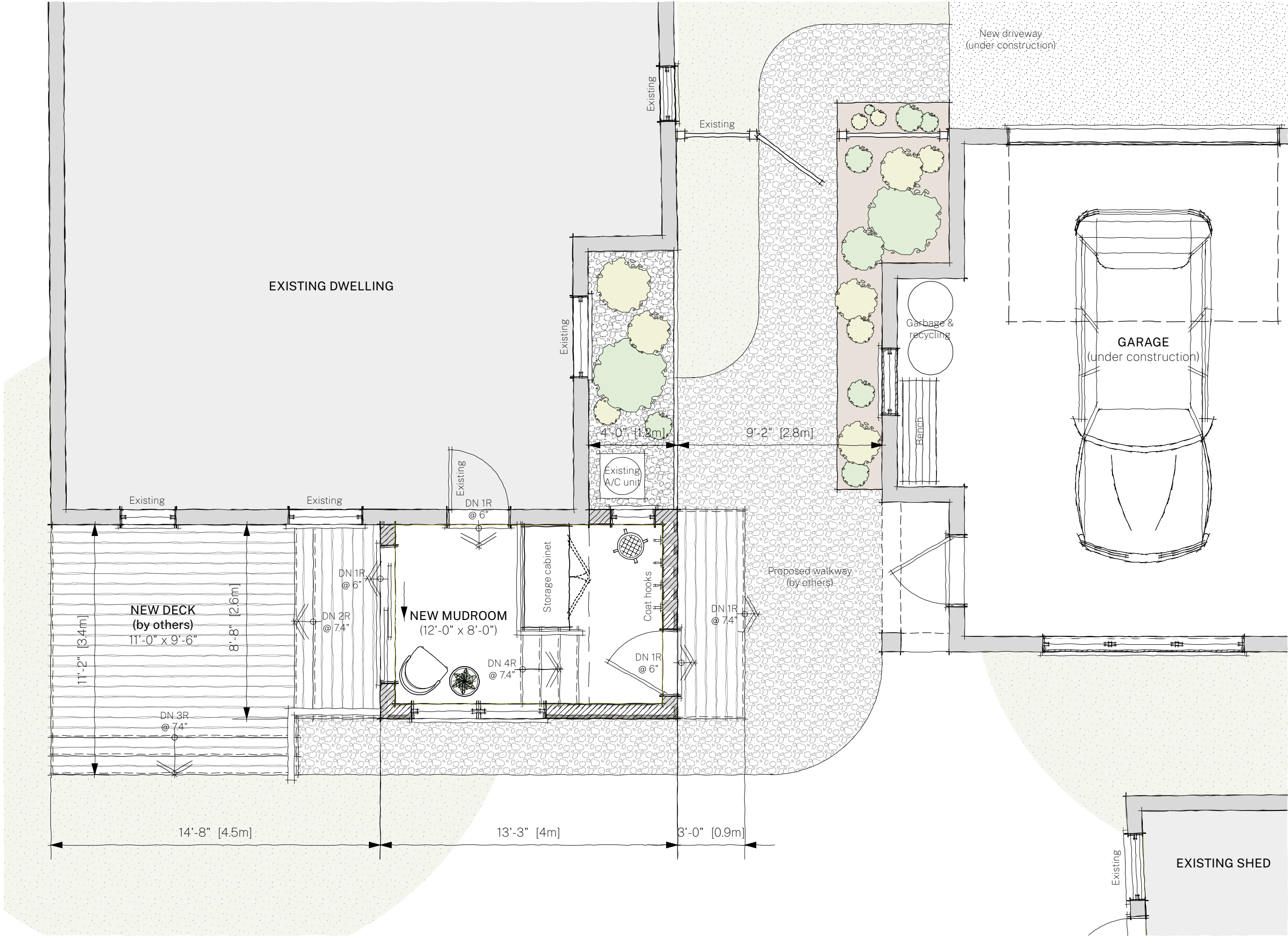
2025



NIAGARA-ON-THE-LAKE ZONING CHECK REVIEW - 646 KING STREET					
Zoning			By-Law 4316-09 R1	Reference	
Lot Area	724.64 m2	7,800.00 ft2	668-780 m2	7.3.2	
Lot Frontage	23.77 m	78.00 ft	18-21.5 m	7.3.2	
Lot Depth	30.51 m	100.08 ft			
Lot Coverage					
Existing Principal Building	99.41 m2	1,070.00 ft2			
Existing Covered Porch	17.19 m2	185.00 ft2			
Existing Shed	7.90 m2	85.00 ft2			
New Garage (under construction)	42.41 m2	456.47 ft2	5.9%	8% (max)	6.1 (a)(1)
New Mudroom Addition	10.92 m2	117.59 ft2			
Total	177.82 m2	1,914.07 ft2	24.5%	33% (max)	7.3.2
Setbacks (Principal Building)					
Existing Front Yard	7.16 m	23.49 ft	7.5 m (min)	7.3.2	
Existing Rear Yard	8.77 m	28.77 ft	7.5 m (min)	7.3.2	
Existing Interior Side Yard (East)	10.50 m	34.45 ft	1.5 m (min)	7.3.2	
Existing Interior Side Yard (West)	4.49 m	14.73 ft	1.5 m (min)	7.3.2	
Setbacks (Mudroom Addition)					
Proposed Rear Yard	6.12 m	20.08 ft	7.5 m (min)	7.3.2	
Proposed Interior Side Yard (East)	10.50 m	34.45 ft	1.5 m (min)	7.3.2	
Proposed Interior Side Yard (West)	8.92 m	29.25 ft	1.5 m (min)	7.3.2	
Proposed Separation Distance	2.79 m	9.17 ft	1.2 m (min)	6.1 (a)(2)	
Encroachments (Deck Addition)					
Proposed Rear Yard Projection	2.10 m	6.89 ft	1.5 m (max)	6.44	
Number of Storeys		1.00			
Building Height					
Proposed Addition Height	4.50 m	14.76 ft	10 m (max)	7.3.2	
Shaded items require minor variance					

Note:
-Site plan and statistics data retrieved from survey.
-Garage (Issued Heritage Permit, File No. HER-50-2025)
-Mudroom (Heritage Permit Application, File No. HER-32-2026)





Willmott & Strickland Inc.
594 Chartwell Road, Suite 3, Oakville, Ontario,
L6J 4A5
T. 905 842 2332
willmottstrickland.ca

Notes
All work shall conform the Ontario Building Code, latest edition, and all other regulations of authorities having jurisdiction. All work shall be carried out in accordance with best trade practice by trades skilled in the type of work being performed. No work shall proceed prior to the issuance of a building permit.

These drawings shall be read in conjunction with specifications, schedules, details and other instructions prepared by the Architect, Structural Consultant, Mechanical Consultant and other consultants who have provided service for this project.

All dimensions and information shown on these drawings must be checked and verified on site by the Contractor and any discrepancies shall be reported to the Architect prior to construction and fabrication of its components.

Copyright: All drawings and related documents shall remain the property and copyright of **Willmott & Strickland Inc.** Reproduction of these documents without consent of the Architect is prohibited.
Use latest revised drawings. Do not scale drawings.

Issue/Revision		
Issued to Heritage for Pre-Consult		06.02.26
Issued to Planning for Pre-Consult		06.16.26
Issued for Heritage Permit		06.10.26
Issued for Minor Variance		06.25.26

Project
Havill Mudroom
Address
**646 King Street,
Niagara-on-the-Lake, ON**

Drawn By
S.T.
Checked By
J.W.

Date
March 12, 2026

Scale
1/4" = 1'-0"



A-101
Ground Floor Plan



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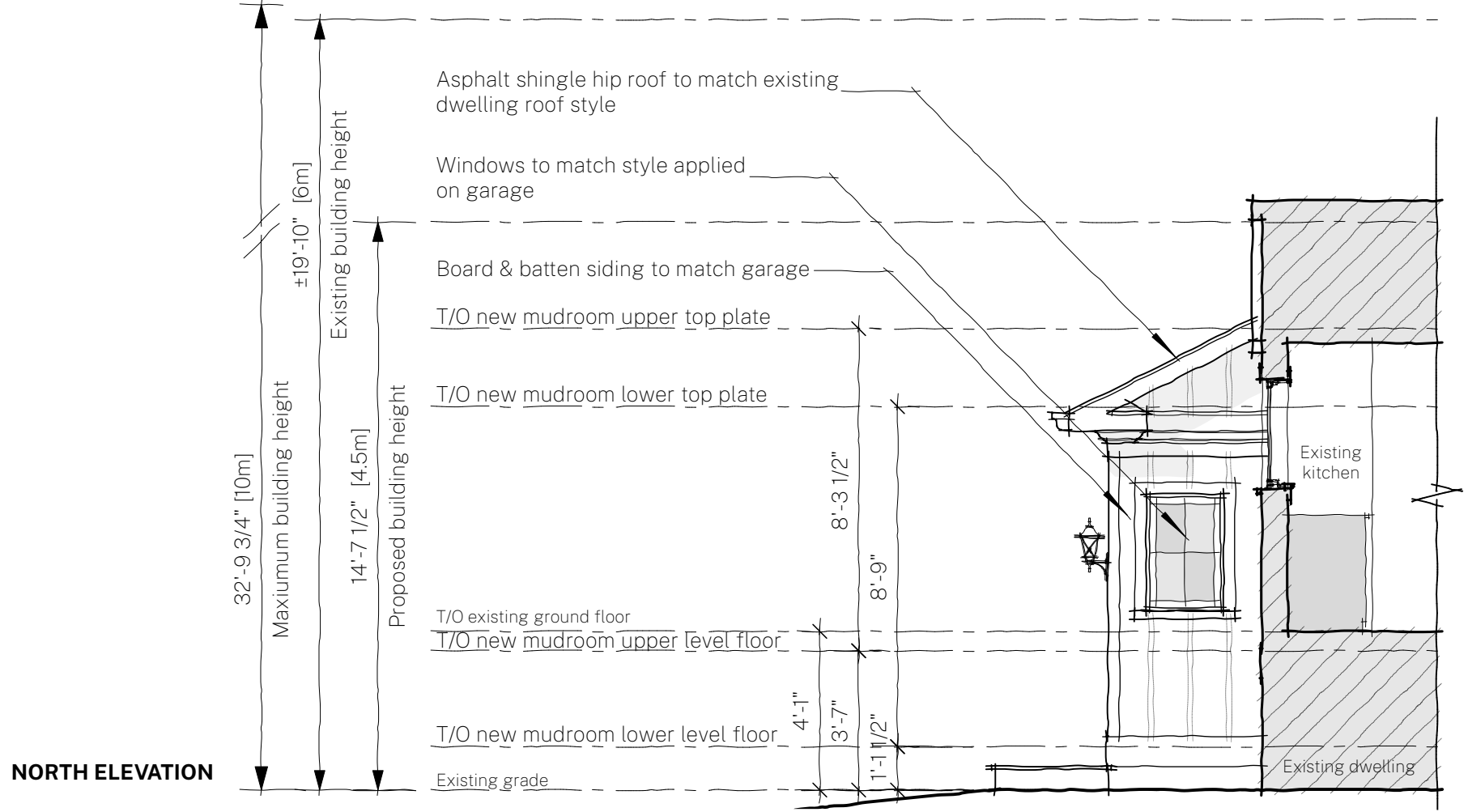
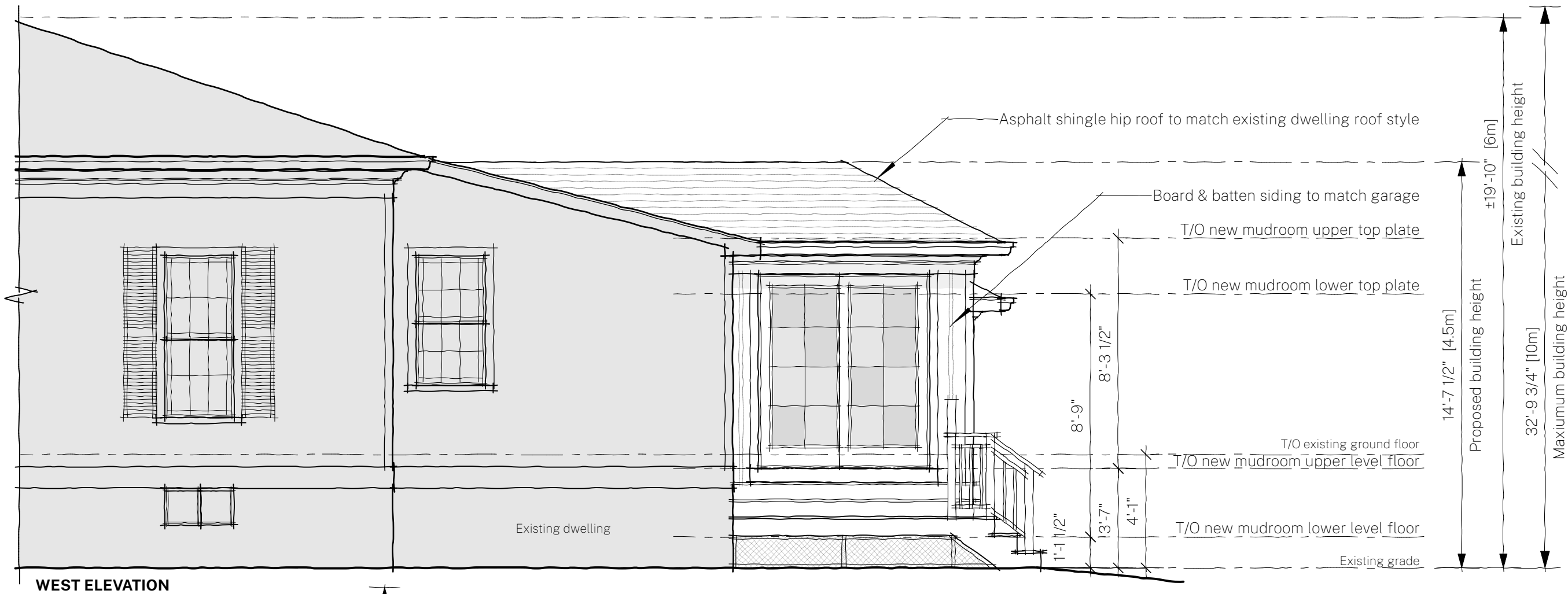
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