

In the matter of the Planning Act, R.S.O. 190, c. P.13, s. 45:

DECISION: File No. Minor Variance A-13/26 – Crossroads Landing
Konik Estates Phase 2

Description of the Land and Purpose and Effect of the Proposed Minor Variance:

Minor Variance Application A-13/26 is made to facilitate the construction of block townhouse development and requests relief as follows:

1. Minimum distance between buildings located on the same lot from 15 metres, as require din the Zoning By-law, to 14 metres between walls where both walls contain a window to a habitable room (rear walls); and
2. Minimum distance between buildings located on the same lot from 15 metres, as require din the Zoning By-law to 3 metres between walls where both walls contain a window to a habitable room (end walls).

Decision: Granted.

Reasons: The Committee of Adjustment considered the oral and written submissions and agrees with the minor variance report analysis and recommendation that this application meets the four Planning Act tests for minor variance:

- a. The variance is minor in nature.
- b. The variance is appropriate for the development of the land.
- c. The general intent and purpose of the Zoning By-law is maintained.
- d. The general intent and purpose of the Official Plan is maintained.

Date of Decision: August 20, 2026.

The last date for filing a notice of appeal is September 9, 2026.

A notice of appeal:

1. must be filed with the Secretary-Treasurer;
2. must set out the reasons for the appeal; and
3. must be accompanied by the fee required by the Ontario Land Tribunal.

An appeal to the Ontario Land Tribunal (OLT) in respect to all or part of this decision may be made by filing a notice of appeal with the Secretary-Treasurer by one (1) of the following means:

1. Through the Ontario Land Tribunal e-file service (first-time users will need to register for a My Ontario Account) at <https://olt.gov.on.ca/e-file-service/> by selecting the Town of Niagara-on-the-Lake as the Approval Authority; or,
2. Through providing physical copies of the appeal materials to Town Hall 1593 Four Mile Creek Road, P.O. Box 100, Virgil, ON L0S 1T0
3. Through providing electronic copies of the appeal materials to the Secretary-Treasurer at natalie.thomson@notl.com.

The appeal fee can be paid online through e-file or by certified cheque/money order and submitted to the Town (certified cheque/money order to be addressed to the Minister of Finance, Province of Ontario). Further information and the required forms are available on the OLT website at www.olt.gov.on.ca.

Further notice and appeal eligibility:

Please note neighbours and other interested parties not defined by the Planning Act are no longer eligible to file appeals for this application as per Bill 23, More Homes Built Faster Act, 2022. Planning Act appeals may be filed by the applicant, the Minister of Municipal Affairs and Housing, a "specified person" (as defined by Planning Act 1(1)), and any "public body" (as defined by Planning Act 1(1)).

Information regarding the Local Planning Appeals Tribunal can be found at;
<https://www.ontario.ca/document/citizens-guide-land-use-planning/ontario-land-tribunal>

Consent was obtained by the Secretary Treasurer on August 20, 2026 to insert electronic signatures of Committee members below;



Steve Bartolini
Committee of Adjustment



Margaret Louter (Vice Chair)
Committee of Adjustment



Eric Lehtinen (Chair)
Committee of Adjustment



Paul Johnson
Committee of Adjustment



Angelo Miniaci
Committee of Adjustment

Natalie Early
Committee of Adjustment



Chris Van de Laar
Committee of Adjustment

I, Natalie Thomson, Secretary Treasurer of the Committee of Adjustment for the Town of Niagara-on-the-Lake, hereby certify that the above is a true copy of the decision of the Committee of Adjustment with respect to the application recorded herein.

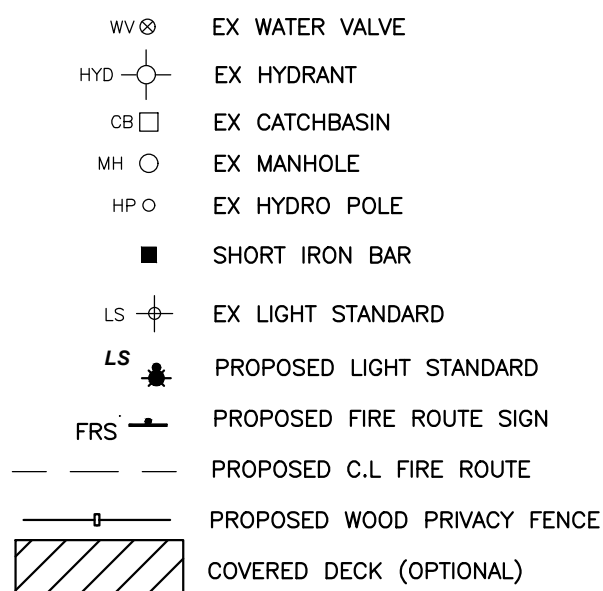
DATED at the Town of Niagara-on-the Lake on August 21, 2026.



Natalie Thomson, Secretary-Treasurer

NOTE:
OPTIONAL DECK/PATIO AREA NOT TO EXCEED 0.6m ABOVE FINISHED GRADE AT HIGHEST POINT

LEGEND



Typ. Fire Access
Route Signage



One steel
1-bar stakes
each driven
securely into
the ground

SIGNAGE NOTES:
ALL FIRE ROUTE SIGNS TO BE LOCATED ON STREET LIGHTS WHERE POSSIBLE.
ALL SIGNS SHALL BE MOUNTED AT A HEIGHT OF 2-3 METRES FROM TOP OF CURB TO BOTTOM OF SIGN.
ALL SIGNS SHALL CONFORM TO THE ONTARIO TRAFFIC MANUAL AND HIGHWAY TRAFFIC ACT.

FIRE ROUTE SIGN DETAIL

NTS

ZONING MATRIX

	REQUIRED	PROVIDED
PERMITTED USE: BLOCK TOWNHOUSES		
MAXIMUM LOT COVERAGE (entire development)	45%	43.22%
MINIMUM FRONT YARD (setback from a private lane)	4.5m	4.5m
FRONT FACE OF A GARAGE	6.0m	6.0m
Attached garage shall be setback minimum 1.5m behind main facade on ground floor	1.5m	1.5m
MINIMUM INTERIOR SIDE YARD SETBACK		
From a common wall	0.0m	0.0m
End wall of a dwelling unit to a property line	2.0m	2.2m
MINIMUM EXTERIOR SIDE YARD SETBACK		
End wall of a dwelling unit to a property line abutting a public street	3.0m	3.0m
MINIMUM REAR YARD SETBACK at the rear of a dwelling unit	6.3m	6.3m
MINIMUM DISTANCE BETWEEN BUILDING ON THE SAME LOT		
End wall to end wall	3.0m	3.0m
Front or rear wall to end wall	9.0m	15.2m
Front or rear wall to front or rear wall	12.6m	17.3m
MINIMUM DISTANCE BETWEEN AN END WALL OF A DWELLING UNIT AND A PRIVATE LANE AND PARKING AREA	1.5m	2.9m
MAXIMUM TOTAL WIDTH OF GARAGE DOORS	55% of the dwelling unit frontage on a private lane	✓
MINIMUM NUMBER OF DWELLING UNITS	45	102
PERMITTED YARD PROJECTIONS AND ENCROACHMENTS		
on an unloaded and uncovered or covered porch, patio or steps may project 2.5m into a required yard and may project 1.5m into a required exterior side yard		✓
on an unloaded and uncovered or covered porch, deck or patio (such porch, deck or patio shall have a platform no greater than 0.8m above finished grade) or steps may project 3.8m into a required rear yard, provided that any covered area is no greater than 14.5m ² (excluding eaves and gutters) and has a max height of 4m above finished grade.		✓
For dwelling units sharing a common wall, the minimum interior side yard setback for a driveway shall be 0.25m from the dwelling unit line where driveways are abutting and 0m from a dwelling unit line where driveways are not abutting		✓

LEGAL DESCRIPTION

PART OF LOT 119
GEOGRAPHIC TOWNSHIP OF NIAGARA, NOW IN THE TOWN OF NIAGARA-ON-THE-LAKE
REGIONAL MUNICIPALITY OF NIAGARA

LAND USE SCHEDULE

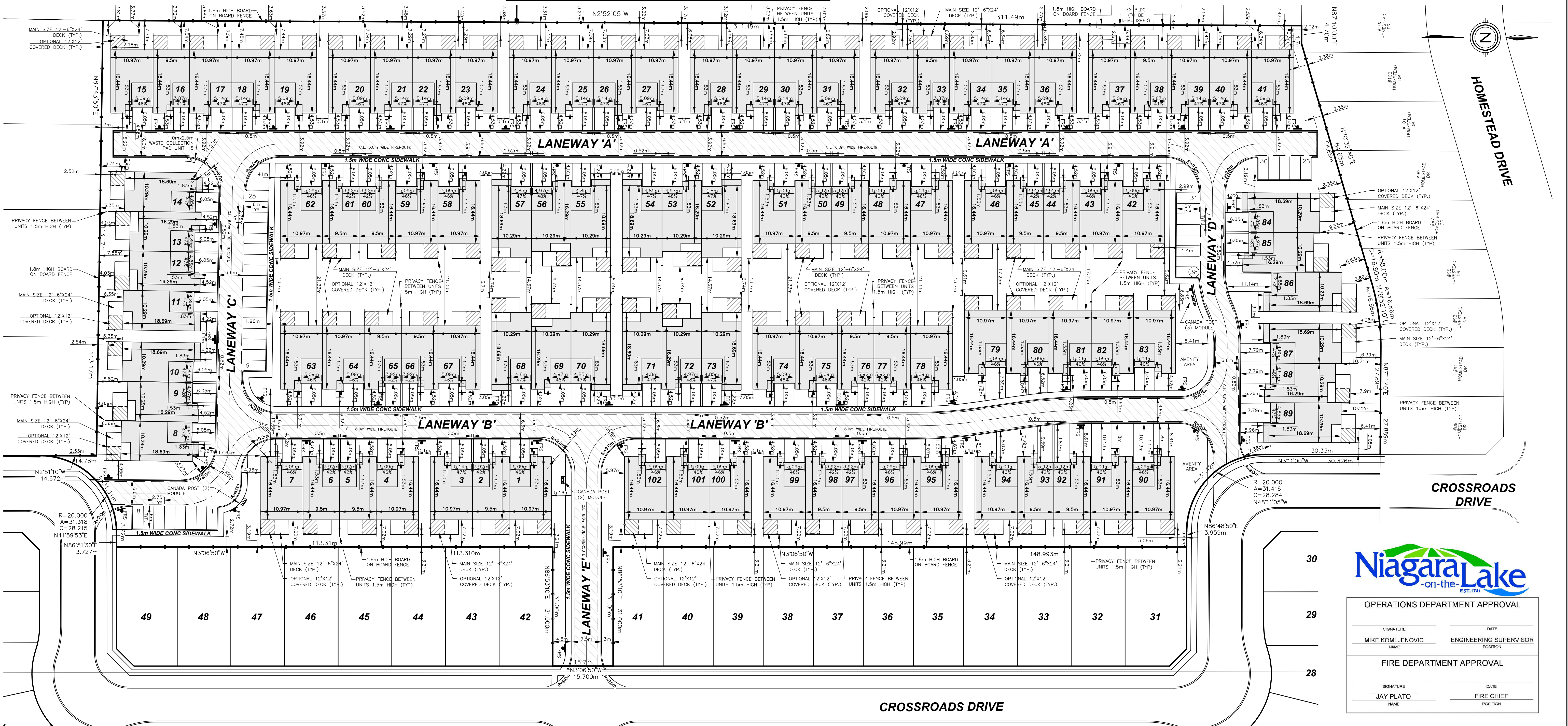
AREA	ha	% COVERAGE
BUILDING (includes covered deck)	1.894	43.22
ROAD/DRIVEWAY/PARKING	0.943	21.52
LANDSCAPING	1.545	35.26
TOTAL	4.382	100.00
UNITS		102
DEVELOPABLE AREA		4.382ha
DENSITY (UNITS/DEVELOPABLE AREA)		23.28u/ha
PARKING SPACES REQUIRED (2 per unit)		204
PARKING SPACES PROVIDED		222
DRIVEWAY (20 SINGLE, 82 DOUBLE)	184	
GUESTS	38	

SUBJECT SITE



KEY PLAN

N.T.S.



OPERATIONS DEPARTMENT APPROVAL

SIGNATURE: MIKE KOMLIENOVIC
NAME: MIKE KOMLIENOVIC
DATE: 2024-06-07
POSITION: ENGINEERING SUPERVISOR

FIRE DEPARTMENT APPROVAL

SIGNATURE: JAY PLATO
NAME: JAY PLATO
DATE: 2024-06-07
POSITION: FIRE CHIEF

NOTES:

- THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWER, AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- PROPERTY LINES WERE PLOTTED USING REGISTERED PLANS AND BARS LOCATED IN THE FIELD. TO VERIFY THE ACCURACY OF THESE PROPERTY LINES, A LEGAL SURVEY SHOULD BE PERFORMED PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION MUST COMPLY WITH THE NIAGARA PENINSULA STANDARD CONTRACT DOCUMENT.

DRAFTING

M.K.

DESIGN

M.H.

CHECKED BY

W.H.

APPROVED BY

M.H.



UPPER CANADA CONSULTANTS
ENGINEERS / PLANNERS
3-30 Hannover Drive
St. Catharines, ON
L2W 1A3
Phone: (905) 688-9400
Fax: (905) 688-9274

KONIK ESTATES - PHASE 2
BLOCK 55
TOWN OF NIAGARA-ON-THE-LAKE
SITE PLAN

CONSULTANT FILE No. 1433

DATE: 2024-06-07

PRINTED: 2024-06-07

SCALE: 1:500

REF. No.

DWG No.

1433-SP-PH2

REV.

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