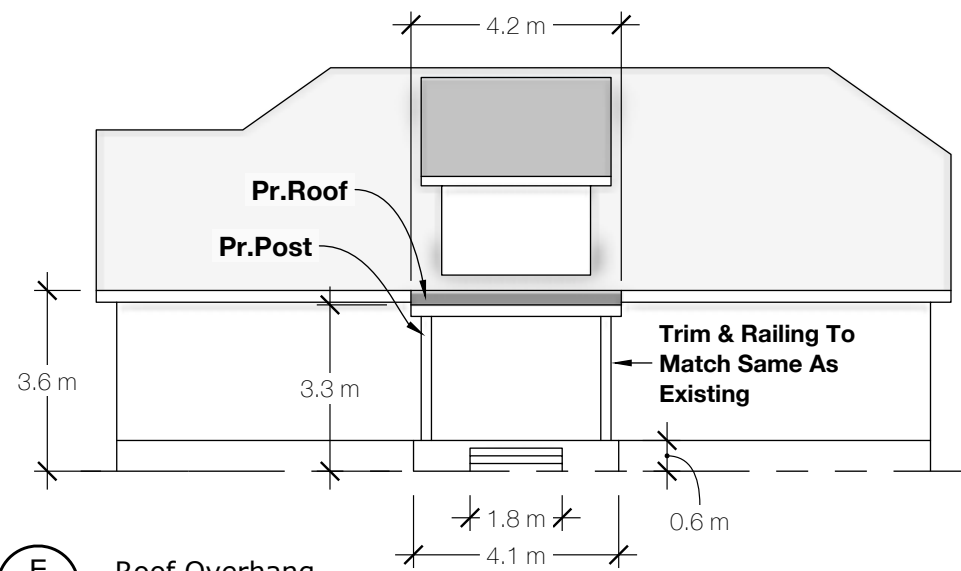
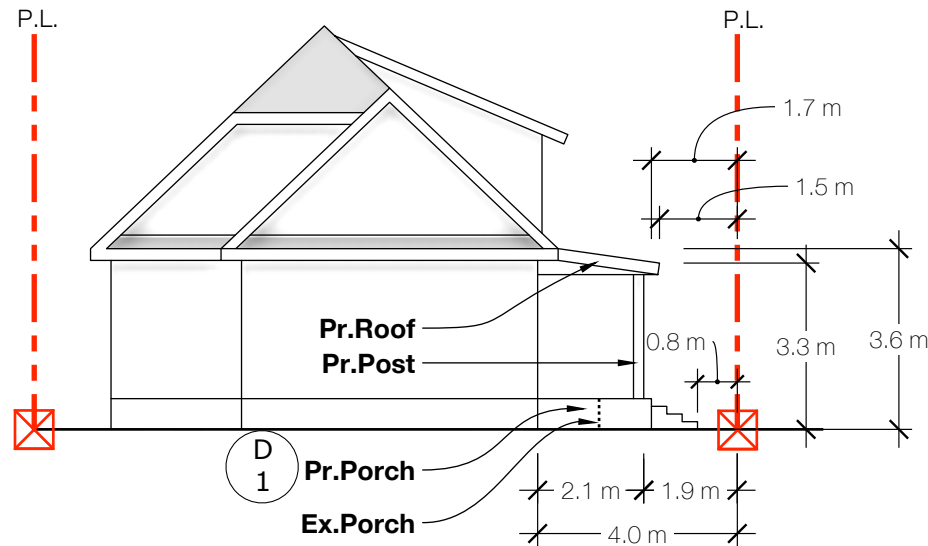




URBAN AESTHETICS
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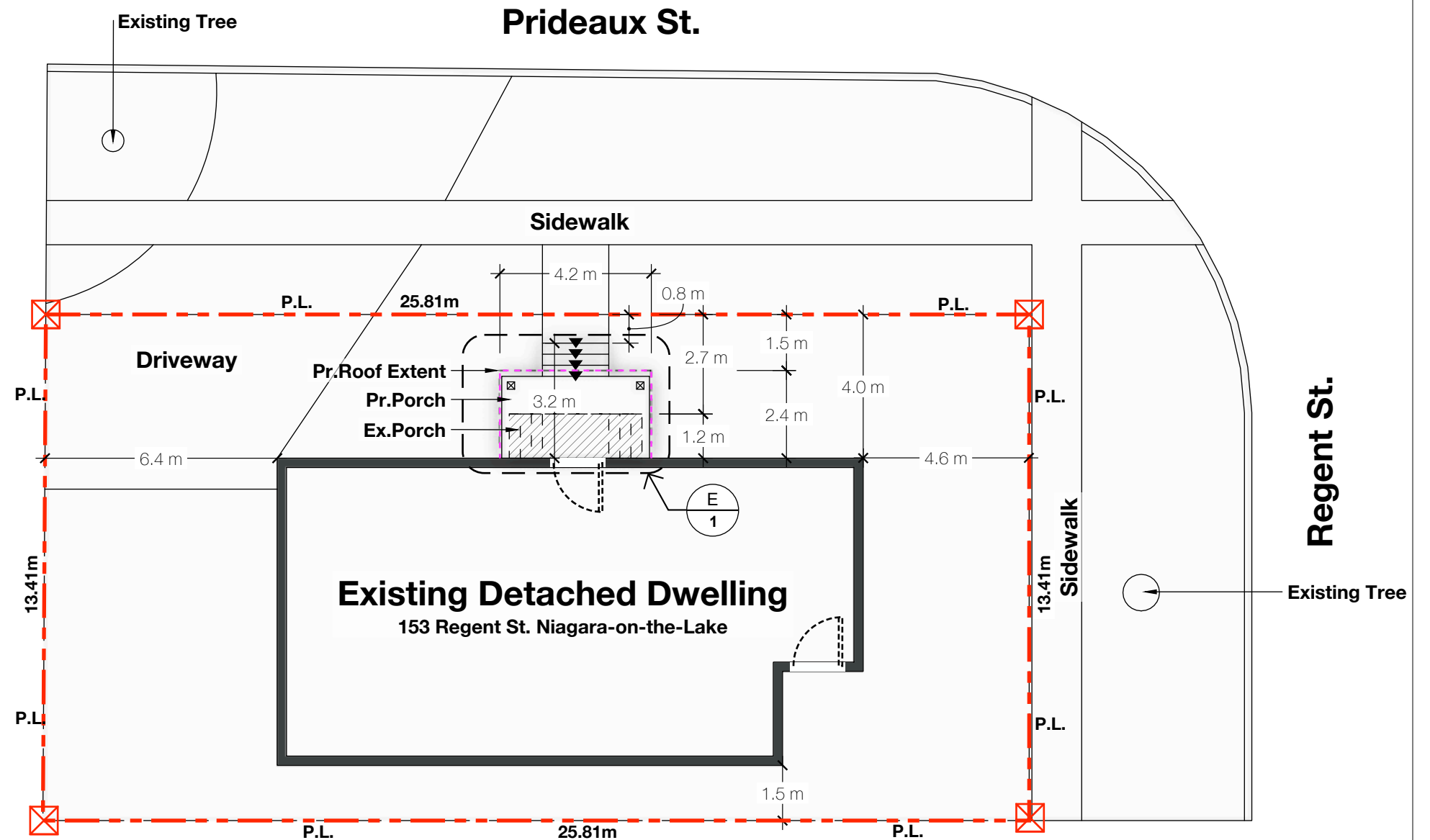


E 1 Roof Overhang
Scale: 1mm:150mm

Lot Information - ER Existing Residential		
Item	Area	Value
Lot Area	346.14 m ²	
Existing Dwelling	121.71 m ²	35.2%
Proposed Covered Porch	18.58 m ²	
Total (Dwelling + Porch)	140.29 m ²	40.5%
Permitted		33%
Proposed Hardscape	87.64 m ²	
Landscape Open Space	118.21 m ²	34.2%
Minimum Required		30%

D 1 Proposed Porch

Proposed porch to be constructed of precast segmental wall stone to suit the aesthetic of NOTL - Image is for illustrative purposes only



Legend:
- - - - - Property Line

Zoning Setback Summary			
Yard	Required	Existing	Proposed
Front yard (Regent St.)	7.5m	4.6m	4.6m
Exterior Side yard (Prideaux St.)	4.5m	2.7m	1.5m
Interior Side Yard	1.22m	1.5m	1.5m
Rear Yard	7.5m	6.4m	6.4m

Existing front/rear setbacks remain unchanged. Existing exterior side yard setback reflects 2002 Minor Variance approval. Proposed exterior side yard setback measured to closest point: roof overhang.