

KEYMAP

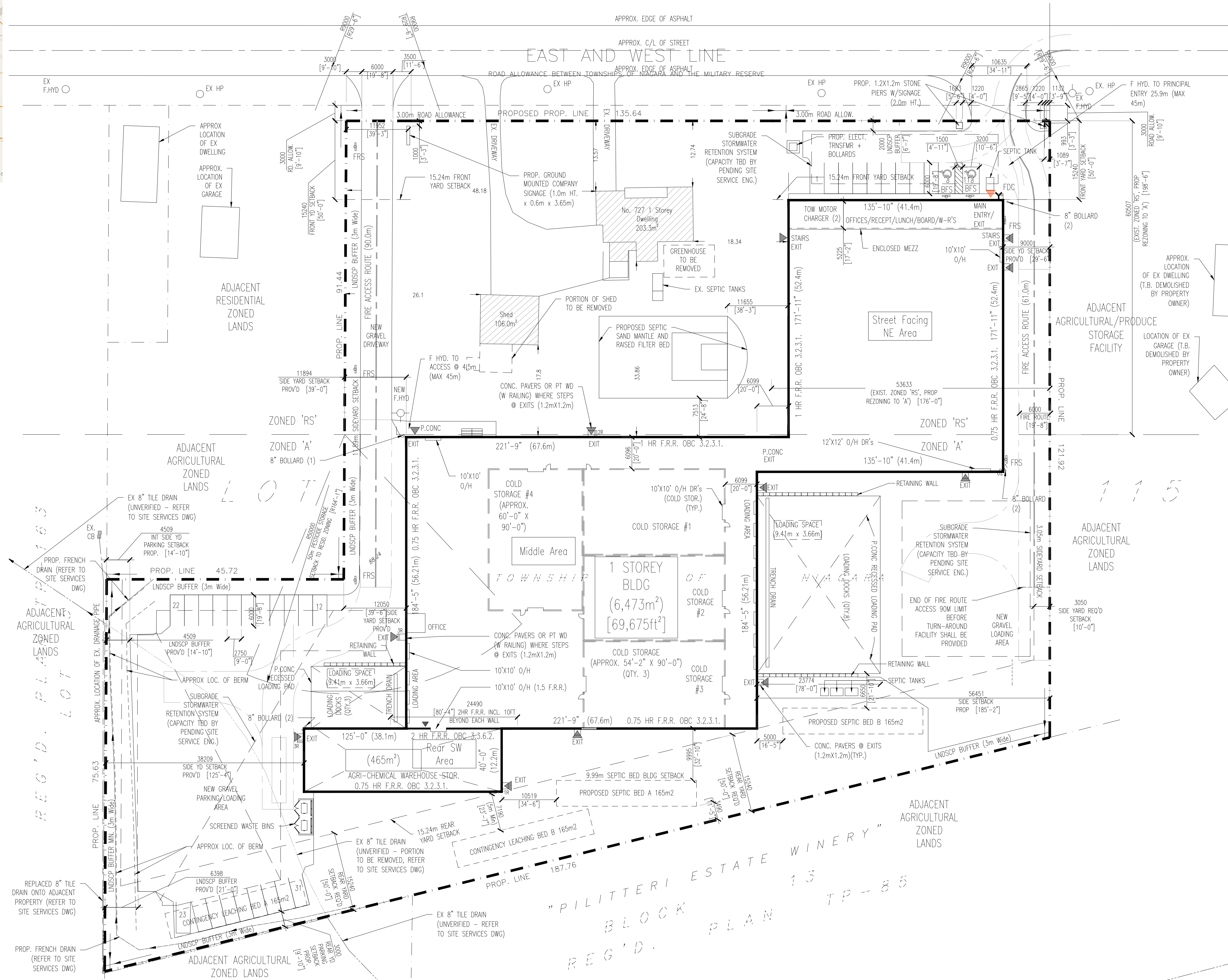
SCALE: .N.T.S.

PROPERTY, DIMENSIONS AND BEARING INFO; REFERENCED FROM SURVEYORS DRAWING BY, Roy S. Kirkup O.L.S. OF J.D. BARNES LIMITED, REFERENCE NO. : 23-16-367-00_1LDC, DATED: SEPT. 18, 2024

SITE STATISTICS - 727 EAST & WEST LINE	
Zoning	
RS - SUBURBAN RESIDENTIAL (ADJACENT TO STREET TO 63.5m SETBACK FROM EXIST. STREET PROP LINE)	
A - AGRICULTURAL (63.5m SETBACK FROM STREET AND FURTHER)	
EXISTING	
LOT FRONTAGE	±135.64m
LOT AREA	±21,673m ² [5.36 acres]
LOT COVERAGE	±1.4% (309.3m ² , Dwelling + Shed)
PROPOSED	
LOT COVERAGE	±29.8% (6,473m ² , PROPOSED)
OVERALL	±31.2% (6,782.3m ²)
LANDSCAPE COVERAGE	
	7,602.9m ² / 21,673m ² = ±35.1%
OBC BUILDING CLASSIFICATION - 3.2.2.89. GROUP F3 ONE STOREY (Not Sprinklered)	
1 STOREY BUILDING	7,000m ² MAX; 6,473m ² PROP. (FACING 2 STREETS)
FRONT YARD SETBACK	
	15.24m MIN REQ'D, 15.24m PROV'D
SIDE YARD SETBACK (WEST)	
	3.05m MIN REQ'D, 11.89m PROV'D
SIDE YARD SETBACK (WEST) SOUTH BUILDING PORTION	
	3.05m MIN REQ'D, 9.0m PROV'D
SIDE YARD SETBACK (EAST)	
	15.24m MIN REQ'D, 15.24m PROV'D
REAR YARD SETBACK	
	15.24m MIN REQ'D, 15.24m PROV'D
MINIMUM LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL 'RS' ZONED LOTS	
	3m MIN REQ'D, >3m PROV'D
PARKING	
MIN P/S Required: 1P/S Per Employee (16 Employees) = 16P/S, Provided: 31	
MIN Loading Spaces Required: GFA >4,645 m ² = 4, Provided: 11	
MIN BFA P/S Required: 1-25 = 1 BFA P/S, Provided: 2	
MAXIMUM BUILDING HEIGHT	
	10.67m MAX., 7.37m PROV'D
OCCUPANT LOAD BY DESIGN (16 EMPLOYEES)	

APR. 27, 2026

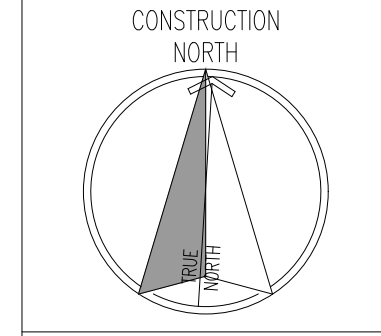
LEGEND	
	FIRE ROUTE
	FIRE ROUTE SIGN
	HYDRANT (EX. OR NEW)
	BARRIER FREE SIGN
	FIRE DEPARTMENT CONNECTION
	LIGHT FIXTURE



OVERALL SITE PLAN - 727 EAST AND WEST LINE - AGRICULTURAL / PRODUCE STORAGE FACILITY

SCALE: 1:400

NO.	REV.	DATE	REVISION
20	01	2026-01-27	FOR CORRECTION
21	02	2026-01-23	FOR CLIENT REVIEW (CORRECTION)
22	03	2026-01-23	FOR CLIENT REVIEW (CORRECTION) / W/C
23	04	2026-02-11	FOR CORRECTION
24	05	2026-04-13	FOR CORRECTION
25	06	2026-04-23	REVISED WEST SIDE BERM/TILE DRAIN CONFORMANCE TO SUBMITTER'S COMMENTS AND ARCHITECT'S REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WITH THAT RELATED PORTION OF THE WORK.
26	07	2026-04-27	REVISED WEST SIDE P/S DETAILED FOR CONSTRUCTION PURPOSES.



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drawn by:	MJ
design by:	MFM
checked by:	LJM
approved by:	AS NOTED
date:	APR 27, 2026

Project title:
PROP. AGRICULTURAL / PRODUCE STORAGE FACILITY
727 EAST & WEST LINE, NOTL, ON
drawing title:
DRAFT

revision number:	26
drawing number:	24-12

SP1