

| ZONING MATRIX   |  |   |
|---|--|---|
| PROVISION   | ZONING (RM5-16b)                         | PROVIDED  |
| <b>MULTIPLE DWELLING</b>  |  |   |
| MIN. LOT FRONTAGE   | 130.0m                                   | 132.59m   |
| MIN LOT AREA  | 33'700m <sup>2</sup>                     | 80'366.43m <sup>2</sup>   |
| MIN. FRONT YARD   | 3.5m (DWELLING)<br>6.0m (GARAGE)         | 3.50m (DWELLING)<br>6.00m (GARAGE)  |
| MIN EXTERIOR SIDE YARD  | 3.0m                                     | 3.35m (57,72,83,84)<br>2.35m (1,16,24,35,43,50,51,56,64,65)                             |
| MIN REAR YARD   | 7.0m                                     | 5m (1-16)<br>5.5m (65-72)<br>6m (43,50-56,73-111)                                       |
| MAX. BUILDING HEIGHT  | 12.0m                                    | 12.0m (14m un 17-42)  |
| MIN. LANDSCAPED OPEN SPACE  | 25%                                      | 38.74%  |
| MAX LOT COVERAGE  | 50%                                      | 33.76%  |
| MIN DWELLING FLOOR AREA   | 93m <sup>2</sup>                         | 93m <sup>2</sup>  |
| MAX GARAGE DOOR WIDTH   | N/A                                      | N/A   |
| MIN AMENITY AREA PER UNIT (m <sup>2</sup> ) (B2B)   | 4m <sup>2</sup>                          | 4m <sup>2</sup>   |
| FOOTNOTES TO TABLE 11-3   | RM5-16(b) INTERIOR SIDE YD               | PROVISION   |
| BUILDING FRONT  | 4m                                       | N/A   |
| BUILDING END WALL   | 1.5m                                     | 1.5m  |
| BUILDING PRIVACY YARD   | 7m                                       | N/A   |
| MIN DWELLING CORNER FROM PRIVATE RD ON CURVED/CORNER LOT  | 2.75m                                    | 2.5m (UN 56)<br>1.55m (57,72)   |
| <b>PARKING PROVISION</b>  |  |   |
| MIN PARKING SPACES (2/UNIT)   | 256                                      | 313   |
| MIN PARKING SPACE DIMENSIONS  | 2.75m X 6m                               | 2.75m X 6m  |
| MIN ACCESSIBLE SPACE  | 7  | 7   |
| MIN ACCESSIBLE SPACE DIMENSIONS W/OUT ADJACENT 1.5m ACCESS AISLE  | 3.7m X 6m                                | 3.7m X 6m   |
| MIN ACCESSIBLE SPACE DIMENSIONS W/ADJACENT 1.5m ACCESS AISLE  | 3.2m X 6m                                | 3.2m X 6m   |
| MINIMUM AISLE WIDTH   | 6m                                       | 6m  |
| PROVISION 6.40 (I) DRIVEWAY SETBACKS  | 8m (EXTERIOR YARD)<br>1m (INTERIOR YARD) | 5.0m (INTERIOR)   |
| PROVISION 6.44—PERMITTED YARD PROJECTIONS AND ENCROACHMENTS UNENCLOSED AND UNCOVERED PORCH, DECK, BALCONY, PATIO OR STEPS | 1.5m (FRONT OR REAR)<br>0.6m (SIDE YARD) | 2.5m (REAR YARD—43,50-56,65-111)<br>1.6m (SIDE YARD—Units 1-16,17,23,24,29,30,35,36,42) |

**GENERAL PROVISIONS:**


- 1.) AN UNENCLOSED COVERED PORCH WITH OPEN SIDES AND/OR BALCONY ABOVE, LOCATED IN THE FRONT OR EXTERIOR SIDE YARD SHALL BE EXCLUDED FROM ANY CALCULATION OF MAXIMUM LOT COVERAGE PROVIDED THE AREA OF THE PORCH DOES NOT EXCEED 5% OF THE TOTAL UNIT AREA FOR INTERIOR UNITS AND 10% OF THE TOTAL UNIT AREA FOR CORNER UNITS. SUCH PORCH MAY ENCRoACH INTO THE FRONT AND/OR EXTERIOR SIDE YARD A MAXIMUM OF 1.5m PROVIDED THE PORCH FLOOR LEVEL IS NO MORE THAN 1.87m ABOVE GRADE.
- 2.) FOR LOTS IDENTIFIED WITHIN THE RM5-16(c) AND RM5-16(b) ZONE WITH FRONTAGE ON CONCESSION 7 ROAD, THE FRONT LOT LINE SHALL BE DEEMED THE FRONTAGE ON CONCESSION 7 ROAD.
- 3.) NOTWITHSTANDING THE CREATION OF LOT LINES OF A CONDOMINIUM, THE LOT FRONTAGE, LOT COVERAGE AND LOT AREA PROVISIONS FOR BLOCK TOWNHOUSES IN THE RM5-16(c) AND RM5-16(b) ZONE, SHALL BE APPLIED TO THE ENTIRETY OF THE LANDS ZONED RM5-16(c) AND RM5-16(b) WITHIN AN INDIVIDUAL BLOCK, NOT THE INDIVIDUAL LOTS CREATED THROUGH CONDOMINIUM REGISTRATION.
- 4.) ALL LOT LINES ABUTTING A PUBLIC STREET, OTHER THAN THE FRONT LOT LINE, SHALL BE DEEMED TO BE AN EXTERIOR LOT LINE.
- 5.) THE PARKING REQUIREMENTS SET OUT IN THE PROVISIONS SECTION 6 OF ZONING BY-LAW 4316-09, AS AMENDED, SHALL APPLY TO THE LANDS IDENTIFIED AS R1-16, RM5-16(c) AND RM5-16(b).


| SITE STATISTICS                       |       |            |
|---------------------------------------|-------|------------|
| AREA                                  | ha    | % COVERAGE |
| BUILDING (includes covered deck)      | 1.139 | 33.76      |
| DRIVEWAYS                             | 0.246 | 7.29       |
| ROAD/PARKING                          | 0.682 | 20.21      |
| LANDSCAPE                             | 1.307 | 38.74      |
| TOTAL DEVELOPABLE AREA                | 3.374 | 100.00     |
| RESTORATION AREA                      | 0.207 |            |
| OPEN SPACE (OSF-16)                   | 4.456 |            |
| TOTAL AREA                            | 8.037 |            |
| UNITS                                 |       | 128        |
| DEVELOPABLE AREA (EXCL. ROAD/PARKING) |       | 2.446ha    |
| DENSITY (UNITS/DEVELOPABLE AREA)      |       | 52.33u/ha  |


**LEGEND**

- HYD PROP HYDRANT
- LS PROP LIGHT STANDARD
- BOL PROP BOLLARD LIGHT
- TRANS PROP TRANSFORMER
- HS PROP HOUSE SERVICE PANEL
- CMB PROP COMMUNITY MAILBOX
- FRS FIRE ROUTE SIGN
- ACC ACCESSIBLE PARKING SPACE
- SS STOP SIGN
- MOUNTABLE CURB PER OPSD 600.100
- SUPER ELEVATED CURB PER OPSD 600.100
- BARRIER CURB PER OPSD 600.110
- PROP CHAIN-LINK FENCE
- PROP WOOD FENCE
- PROP FIRE ROUTE C/L

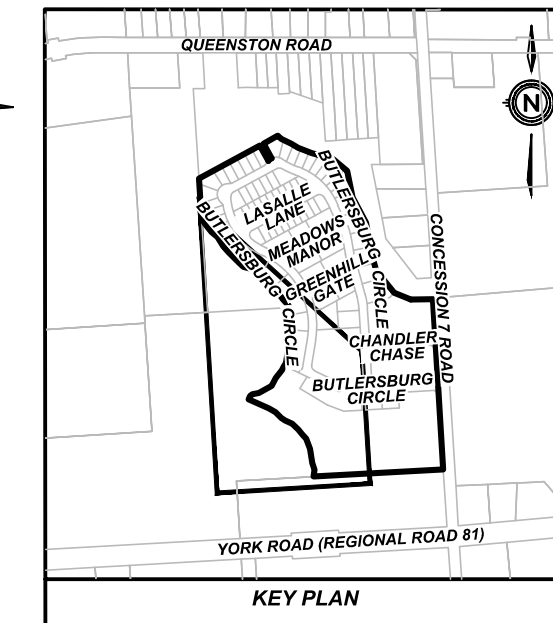
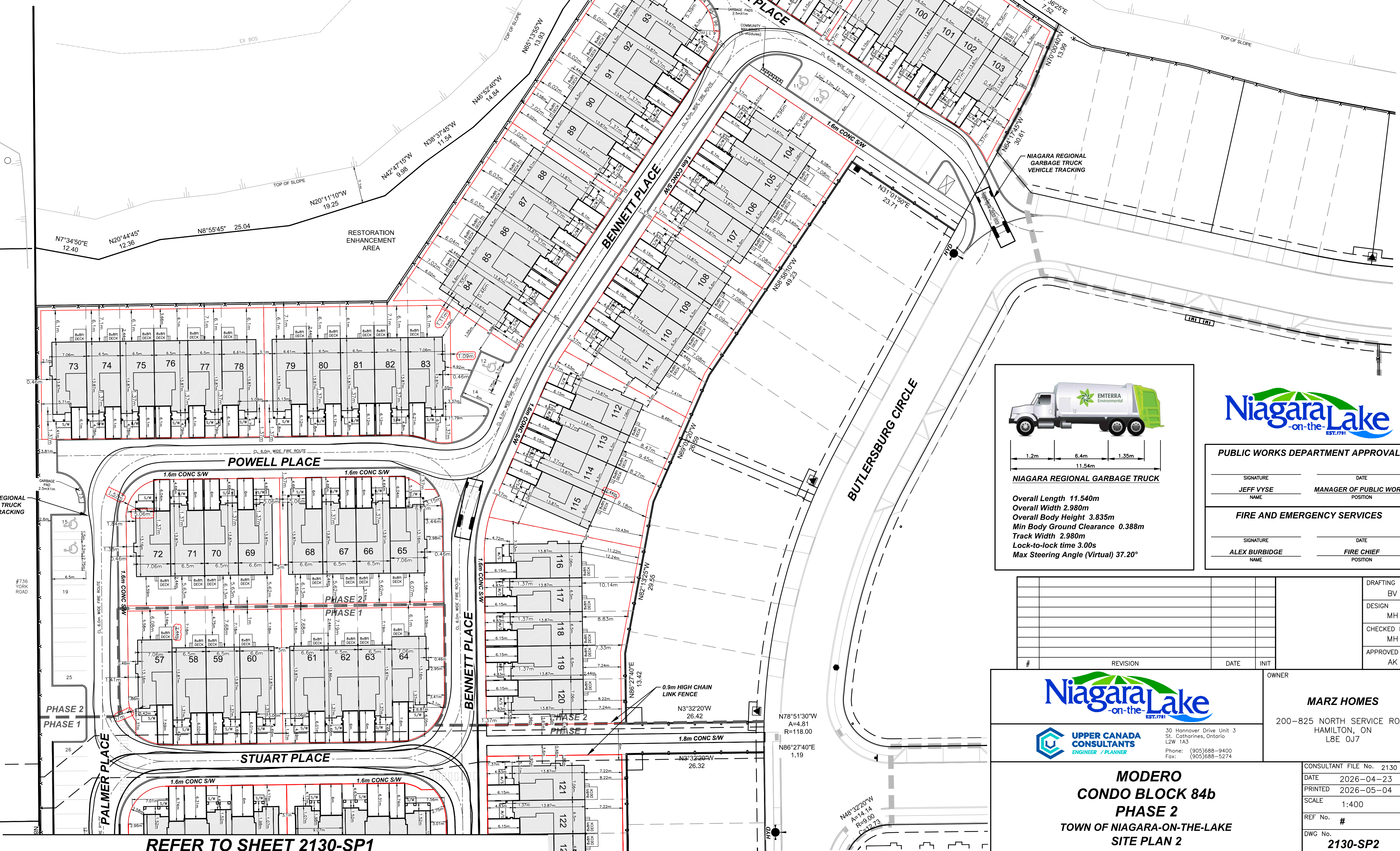
**SIGN DETAILS**

BASED ON OTM SIGN Rb-57  
 FIRE ROUTE SIGN


BASED ON OTM SIGN Rb-93  
 ACCESSIBLE PARKING SIGN (TYPE A)

BASED ON OTM SIGN Rb-93  
 ACCESSIBLE PARKING SIGN (TYPE B)

NOTE: SIGN INSTALLATION AND DESIGN TO CONFORM WITH MUNICIPAL O.B.C. AND PROVINCIAL REQUIREMENTS.



**LEGAL DESCRIPTION**  
 PART OF TOWNSHIP LOTS 180 & 181  
 (GEOGRAPHIC TOWNSHIP OF NIAGARA)  
 TOWN OF NIAGARA-ON-THE-LAKE



NIAGARA REGIONAL GARBAGE TRUCK

Overall Length 11.540m  
 Overall Width 2.980m  
 Overall Body Height 3.835m  
 Min Body Ground Clearance 0.388m  
 Track Width 2.980m  
 Lock-to-lock time 3.00s  
 Max Steering Angle (Virtual) 37.20°

**Niagara Lake**  
 on-the-Lake

**PUBLIC WORKS DEPARTMENT APPROVAL**

SIGNATURE: JEFF VYSE DATE: \_\_\_\_\_  
 NAME: JEFF VYSE POSITION: MANAGER OF PUBLIC WORKS

**FIRE AND EMERGENCY SERVICES**

SIGNATURE: ALEX BURBRIDGE DATE: \_\_\_\_\_  
 NAME: ALEX BURBRIDGE POSITION: FIRE CHIEF

| # | REVISION | DATE | INIT | APPROVED BY |
|---|----------|------|------|-------------|
|   |          |      |      |             |

**Niagara Lake**  
 on-the-Lake

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**MARZ HOMES**  
 200-825 NORTH SERVICE ROAD  
 HAMILTON, ON  
 L8E 0J7

**MODERO CONDO BLOCK 84b PHASE 2 TOWN OF NIAGARA-ON-THE-LAKE SITE PLAN 2**

CONSULTANT FILE No. 2130  
 DATE 2026-04-23  
 PRINTED 2026-05-04  
 SCALE 1:400  
 REF No. #  
 DWG No. 2130-SP2  
 REV 7