

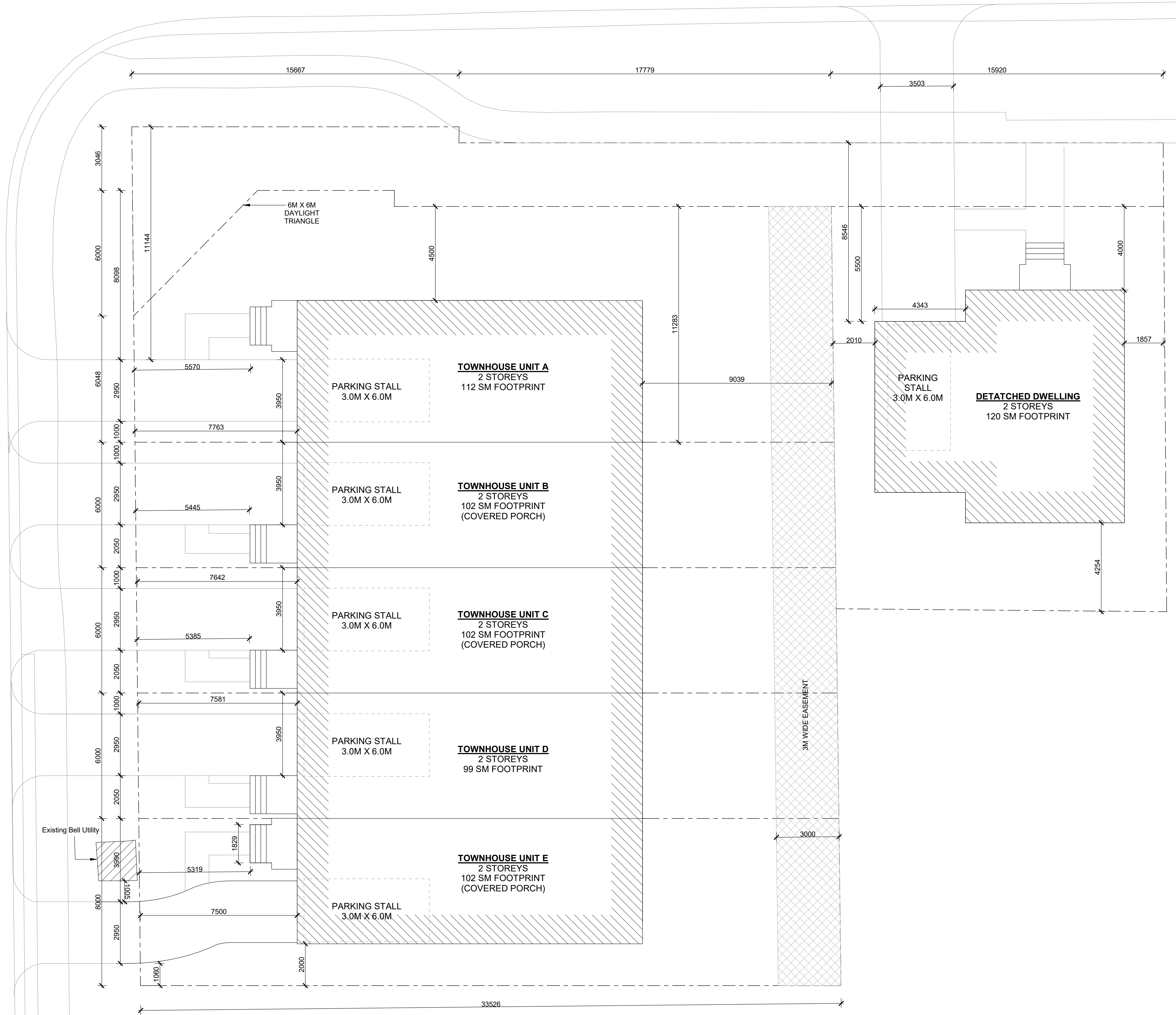


YORK ROAD RESIDENTIAL INFILL

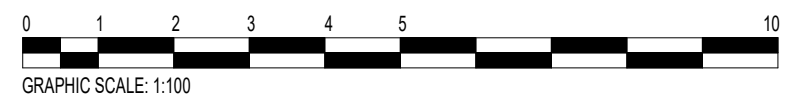
1317 YORK RD, NIAGARA-ON-THE-LAKE,
LOS 1P0

YORK ROAD

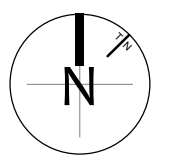
TANBARK ROAD



2 SITE PLAN
A1 1 : 100



KEY MAP



ADDRESS

CIVIC ADDRESS	1317 YORK ROAD, NOTL, ON, L0S 1J1
LEGAL DESCRIPTION	PT LOT 90

ZONING MATRIX

ZONING DESIGNATION:	R1	
BYLAW NUMBER	4316-09	
PERMITTED USES:	RM1 - TOWNHOUSES (SITE-SPECIFIC)	
	REQUIRED:	PROPOSED:
LOT AREA (MIN) (AFTER ROAD WIDENING - 1546 SQ.M)	Min Interior Lot 230 SQ.M and Exterior Lot 300 SQ.M	Interior Lot - 201 SQ.M Exterior Lot - 369 SQ.M
LOT FRONTAGE (MIN AND MAX)	Min Interior Lot 6.2M and Exterior Lot 10.0M	Interior Lot - 6.0M Exterior Lot - 11.2M
FRONT YARD SETBACK TO THE FRONT FACE OF THE BUILDING (MIN)	4.5M	5.4 metres (steps) 7.5M (garage)
FRONT YARD SETBACK (MAX)	6.0M	5.5M (steps) 7.7M (garage)
FRONT YARD SETBACK TO FRONT FACE OF THE ATTACHED GARAGE (MIN)	7.5M	7.5M
SIDE YARD INTERIOR (MIN)	1.5M, End units taller than 5.0m then 1.8M no attached garage provided then 3.0M	2.0M
SIDE YARD EXTERIOR (MIN AND MAX)	4.5 M entrance to attached garage faces exterior side yard then 6.0M	4.5M
REAR YARD (MIN)	7.5 M Except for units having a height 8.0M or greater, then 9.0M shall be provided.	9.0M
BUILDING HEIGHT (MAX)	10.0 M	11.1M (TOR)
LANDSCAPE OPEN SPACE (MIN)	25%	48.7% (605 SQ.M)
LOT COVERAGE (MAX)	45%	42% (518 SQ.M)
MAXIMUM WIDTH OF GARAGE FACE	3.5M	3.95M
MINIMUM DWELLING FLOOR AREA	80 SQ.M	99 -112 SQ.M
MINIMUM ACCESSORY BUILDING YARDS SETBACK	0.5M	N/A
MINIMUM ACCESSORY BUILDING EXTERIOR SIDE YARD SETBACK	4.5M	N/A
PARKING (MIN)	2 STALLS	2 STALLS/UNIT

ZONING MATRIX

ZONING DESIGNATION:	R1 - RESIDENTIAL 1	
BYLAW NUMBER	4316-09	
PERMITTED USES:	R1 SINGLE DETACHED DWELLING (SITE-SPECIFIC)	
	REQUIRED:	PROPOSED:
LOT AREA (MIN)	668 SQ.M	306 SQ.M
LOT FRONTAGE (MIN)	18.0 M	15.9M
FRONT YARD (MIN AND MAX)	Min 6.0 M and Max 7.5 M	4.0M
FRONT YARD SETBACK TO FRONT FACE OF THE ATTACHED GARAGE	8.5M	5.5M
SIDE YARD INTERIOR (MIN)	1.5M, No attached garage 3.0M	1.8M
SIDE YARD EXTERIOR (MIN AND MAX)	4.5 M	N/A
REAR YARD (MIN)	7.5 M	4.2M
BUILDING HEIGHT (MAX)	10.0 M	11.1M
LANDSCAPE OPEN SPACE (MIN)	30%	53% (161.5 SQ.M)
LOT COVERAGE (MAX)	33%	39% (120 SQ.M)
MAXIMUM WIDTH OF GARAGE FACE	7.5M	4.3M
MINIMUM DWELLING FLOOR AREA	125 SQ.M	120 SQ.M
MINIMUM ACCESSORY BUILDING YARDS SETBACK	N/A	N/A
MINIMUM ACCESSORY BUILDING EXTERIOR SIDE YARD SETBACK	N/A	N/A
PARKING (MIN)	2 STALLS	2 STALLS/UNIT

PRELIMINARY
NOT FOR CONSTRUCTION. DESIGN CONCEPT ONLY

Do not scale drawings. Report any discrepancies to Quartek Group Inc. before proceeding.
Drawings must be sealed by the Architect and / or Engineer prior to the use for any building permit applications and / or government approval. Seals must be signed by the Architect and / or Engineer before drawings are used for any construction.
All construction to be in accordance with the current Ontario Building Code and all applicable Ontario regulations.
All drawings and related documents remain the property of Quartek Group Inc., all drawings are protected under copyright and under contract.



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Project Title

YORK ROAD RESIDENTIAL
INFILL
1317 YORK RD, NIAGARA-ON-THE-LAKE,
L0S 1P0

Drawing Title

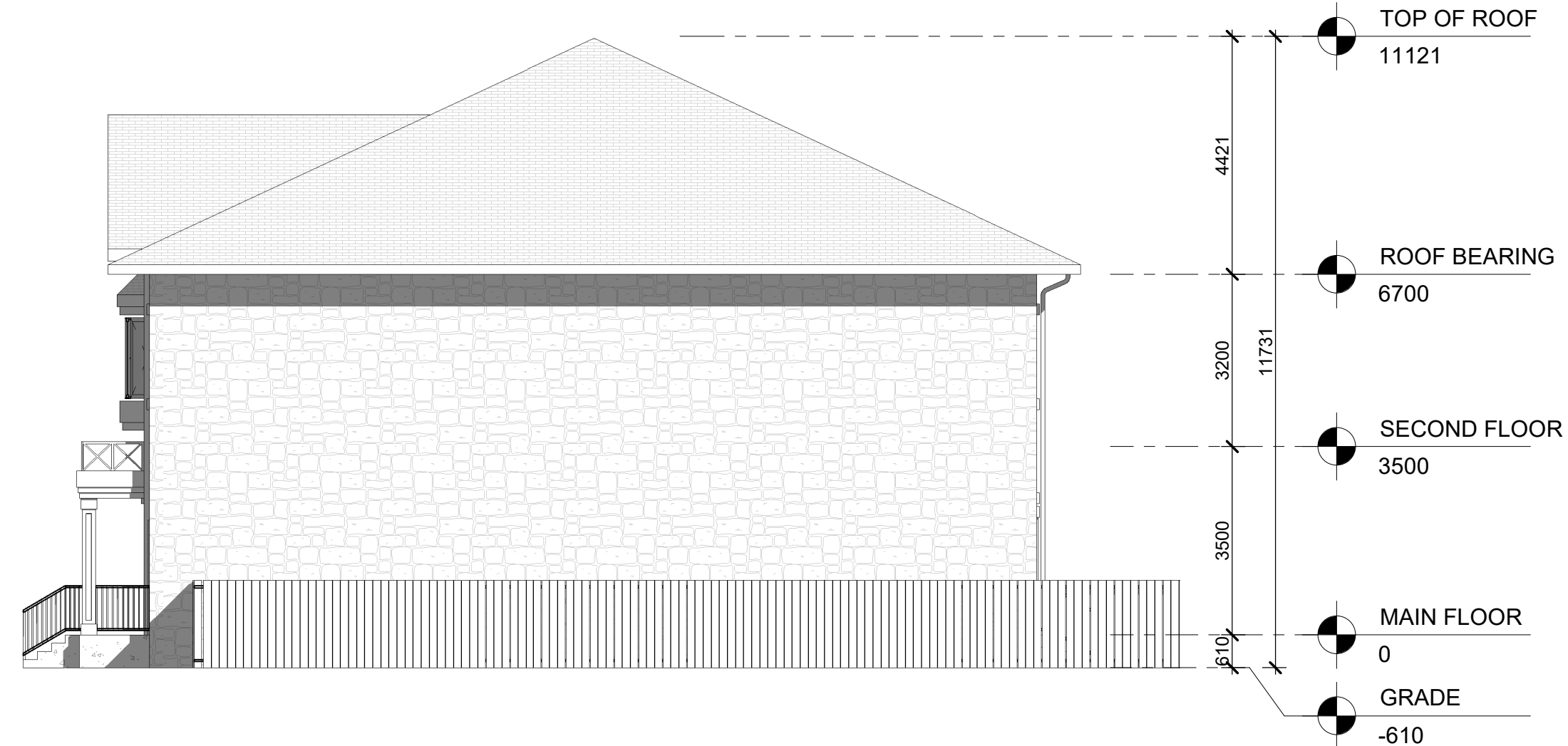
SITE PLAN

Drawn by: MT
Designed by: MT

Scale: As indicated
Date Created: 10APR2025

Job Number: 24086
Issue: F

Drawing Number: A1



1 TOWNHOUSE - SOUTH ELEVATION
1 : 100



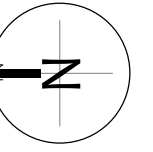
2 TOWNHOUSE - WEST ELEVATION
1 : 100



3 TOWNHOUSE - NORTH ELEVATION
1 : 100



4 TOWNHOUSE - EAST ELEVATION
1 : 100



C	FOR ZBA R1	Date	3	MT
B	FOR ZBA	Date	14 JUL 2025	MT
A	CLIENT REVIEW	Date	21 APR 2025	ZK
Issue		Issued for		Int.

Seal

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Quartek

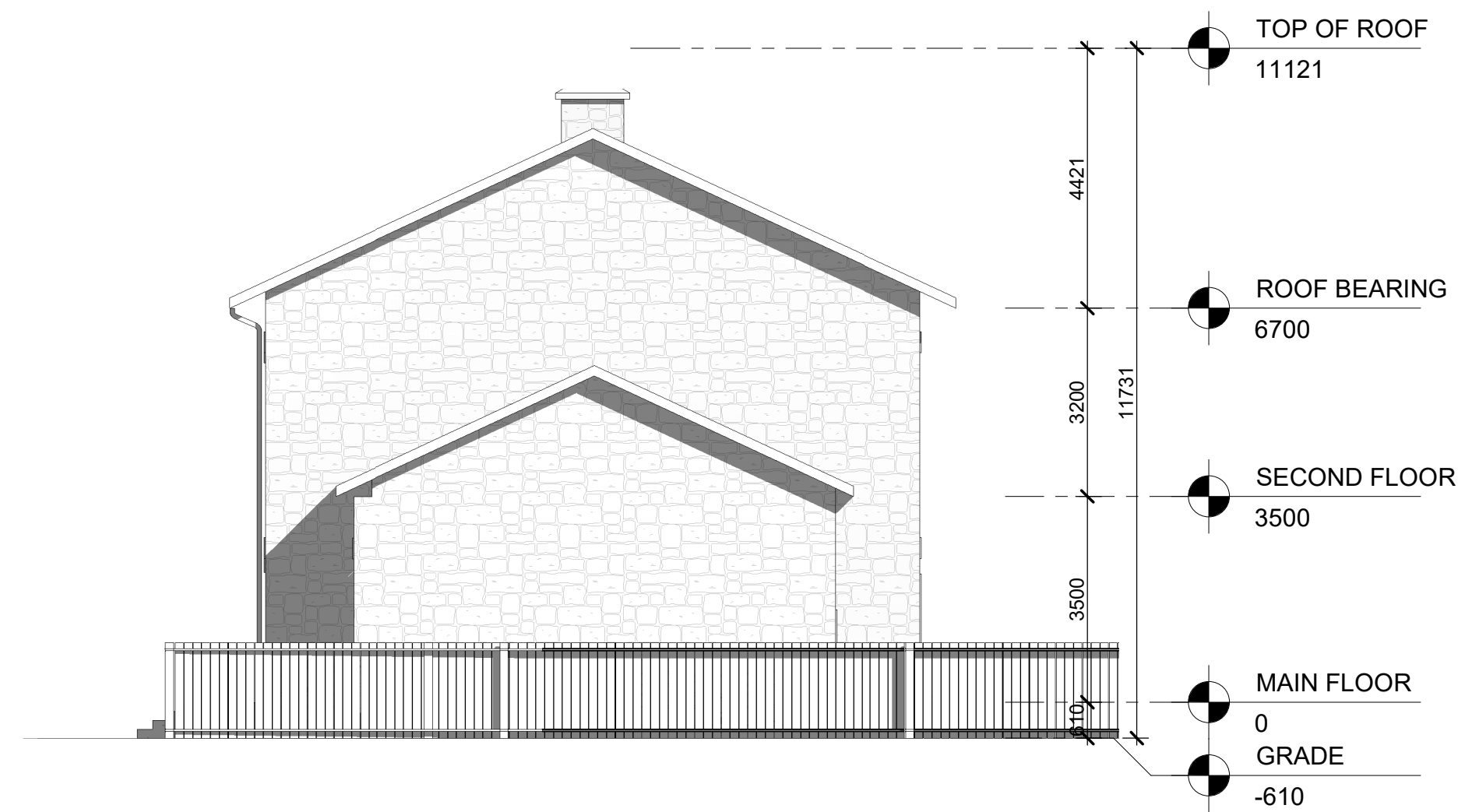
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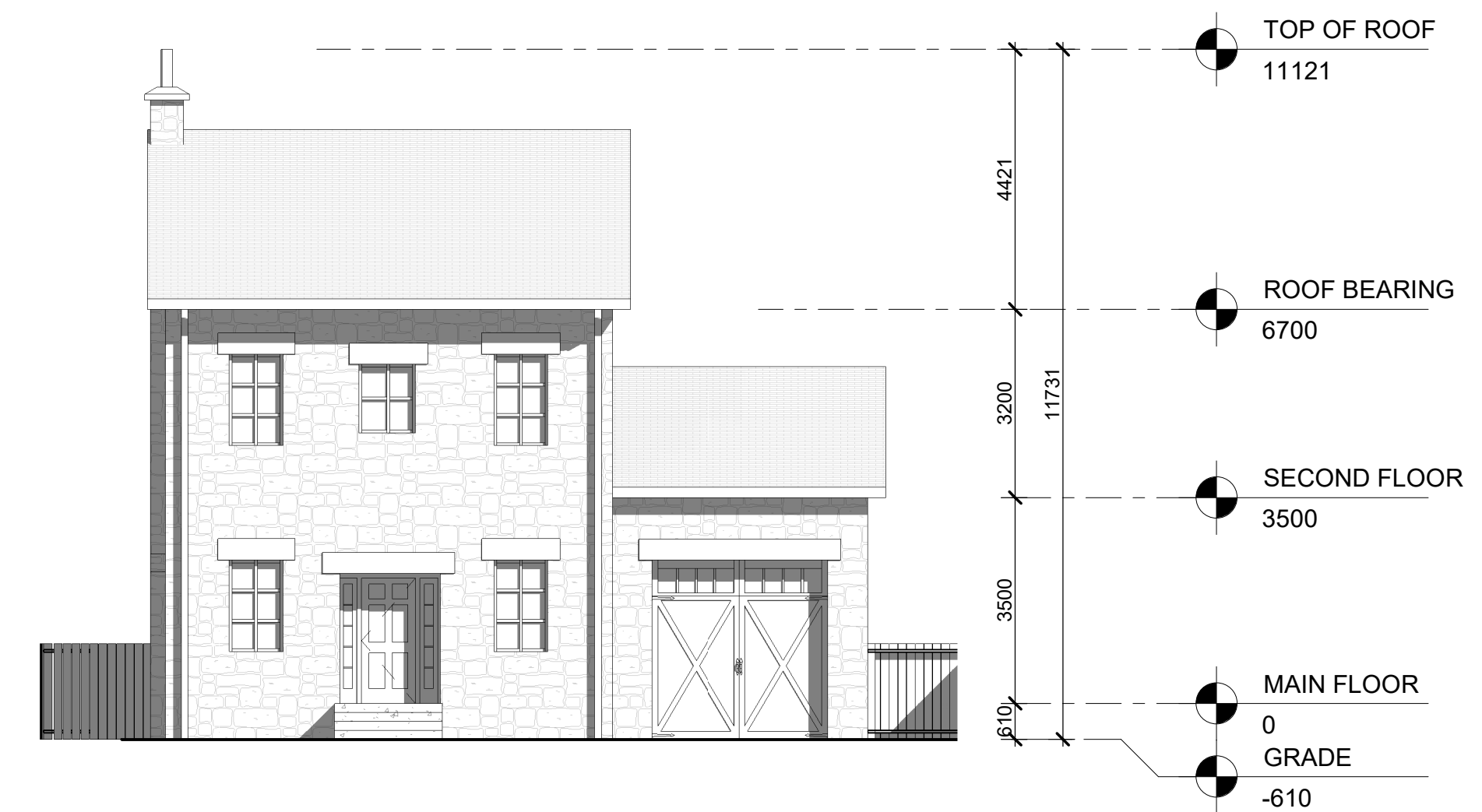
Project Title
YORK ROAD RESIDENTIAL INFILL
 1317 YORK RD, NIAGARA-ON-THE-LAKE, LOS 1P0

Drawing Title
TOWNHOUSE ELEVATIONS AND FLOOR PLANS

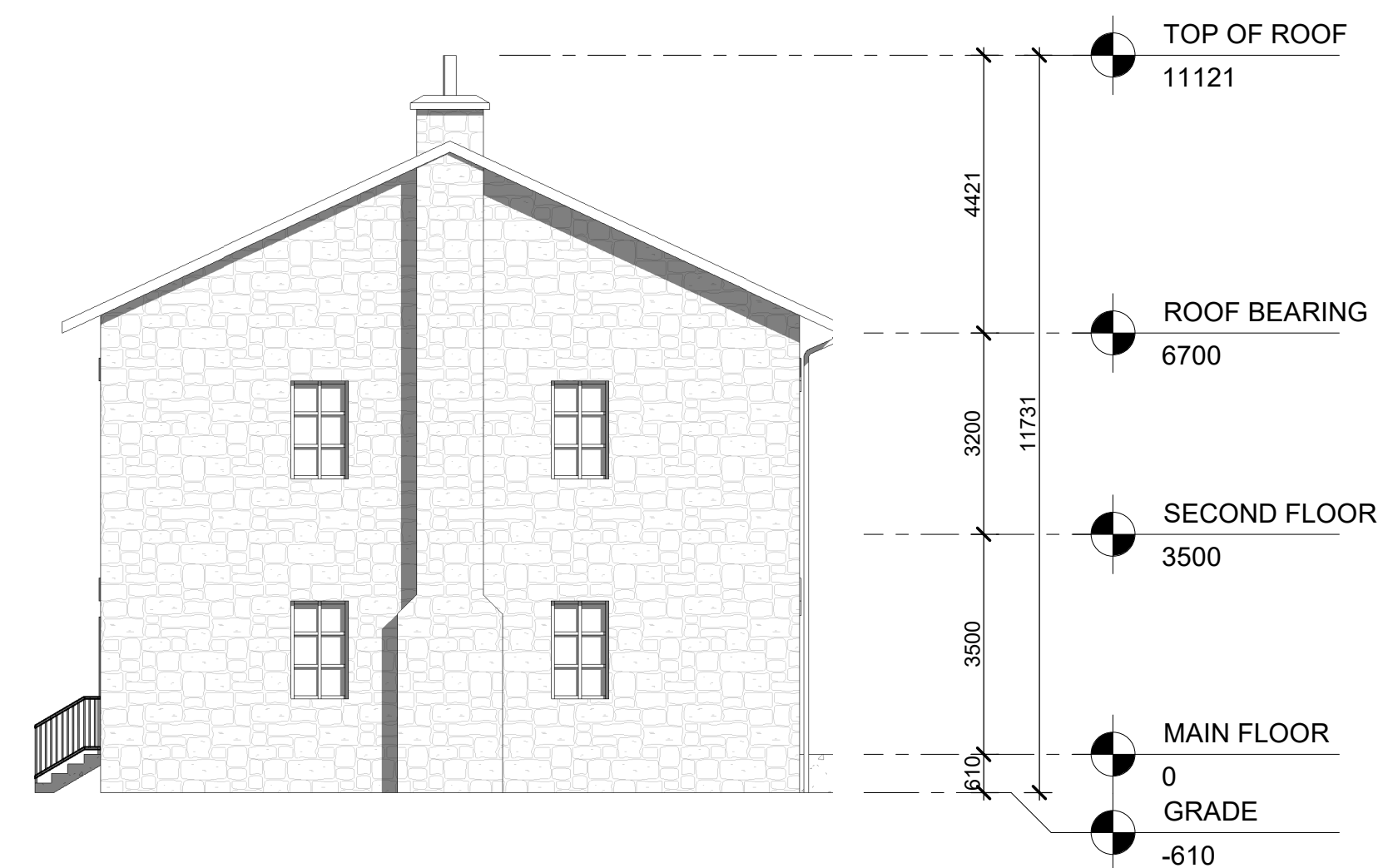
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MT	MT
Scale	Date Created
1 : 100	04/11/25
Job Number	Issue
24086	C
Drawing Number	



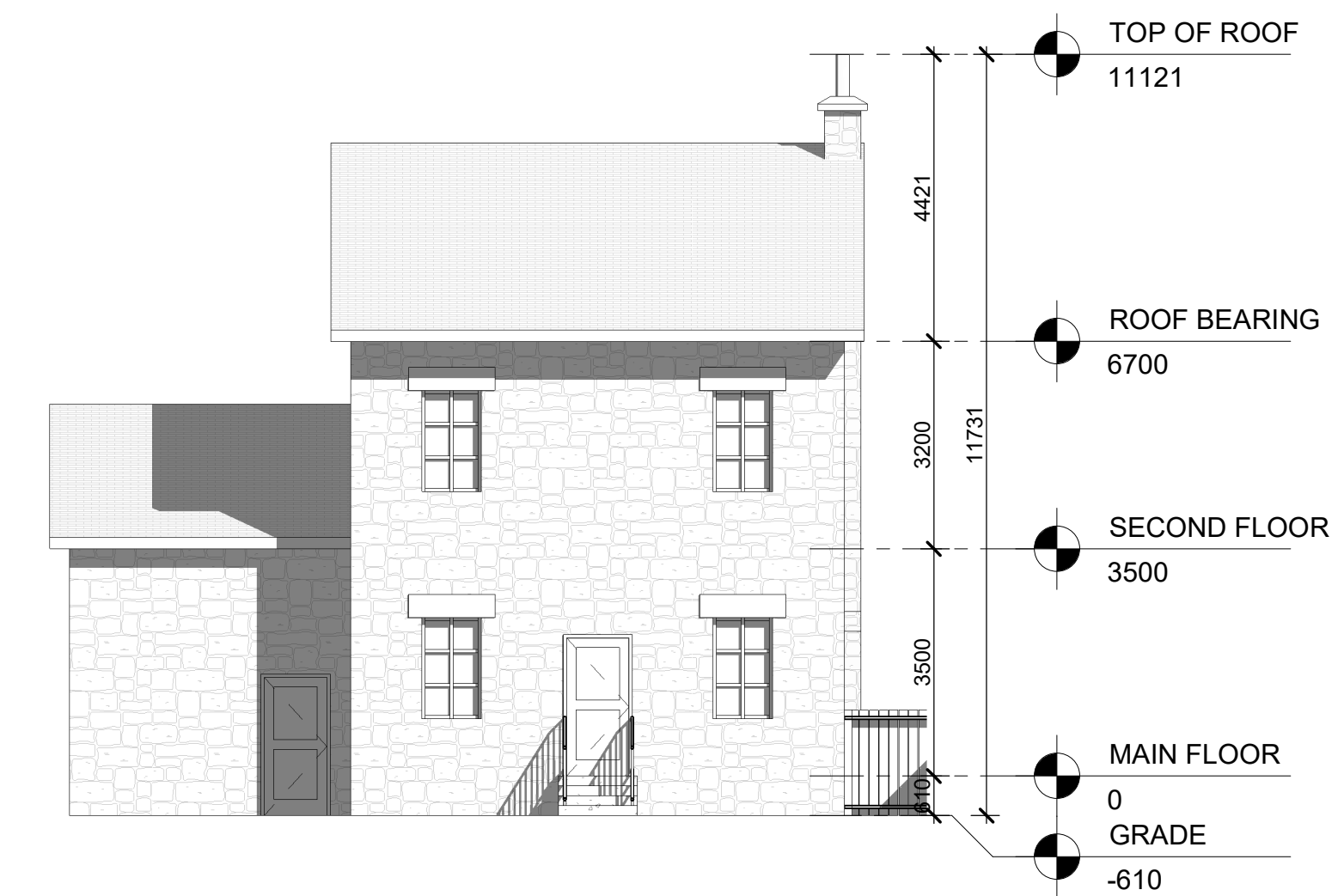
1 HOUSE - WEST ELEVATION
A4 1 : 100



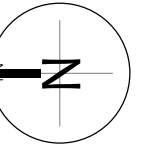
2 HOUSE - NORTH ELEVATION
A4 1 : 100



3 HOUSE - EAST ELEVATION
A4 1 : 100



4 HOUSE - SOUTH ELEVATION
A4 1 : 100



C	FOR ZBA R1	Date 3	MT
B	FOR ZBA	14JUL2025	MT
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Project Title

YORK ROAD RESIDENTIAL INFILL

1317 YORK RD, NIAGARA-ON-THE-LAKE, LOS 1P0

Drawing Title

HOUSE ELEVATIONS

Drawn MT Designed by MT

Scale 1 : 100 Date Created 04/15/25

Job Number 24086 Issue C

Drawing Number

A4