

In the matter of the Planning Act, R.S.O. 190, c. P.13, s. 45:

DECISION: File No. Minor Variance A-23/25 – 2080 Niagara Stone Road

Assessment Roll No. 262702000903600000

Description of the Land and Purpose and Effect of the Proposed Minor Variance:

Minor Variance Application A-23/25 is made to recognize changes to the use of certain rooms and spaces within the winery and requests relief as follows:

1. Maximum floor area of restaurant/function from 330 square metres, as required in the Zoning By-law, to 332 square metres;
2. Maximum floor area of pre-function room from 112 square metres, as required in the Zoning By-law, to 162 square metres;
3. Maximum floor area of lobby from 226 square metres, as required in the Zoning By-law, to 233 square metres;
4. Maximum floor area of outdoor hospitality area from 420 square metres, as required in the Zoning By-law, to 421 square metres; and
5. Maximum floor area of kitchen and service station from 262 square metres, as required in the Zoning By-law, to 280 square metres.

Decision: Granted.

Reasons: The Committee of Adjustment considered the oral and written submissions and agrees with the minor variance report analysis and recommendation that this application meets the four Planning Act tests for minor variance:

- a. The variance is minor in nature.
- b. The variance is appropriate for the development of the land.
- c. The general intent and purpose of the Zoning By-law is maintained.
- d. The general intent and purpose of the Official Plan is maintained.

Date of Decision: December 18, 2025.

The last date for filing a notice of appeal is January 7, 2026.

A notice of appeal:

1. must be filed with the Secretary-Treasurer;
2. must set out the reasons for the appeal; and
3. must be accompanied by the fee required by the Ontario Land Tribunal.

An appeal to the Ontario Land Tribunal (OLT) in respect to all or part of this decision may be made by filing a notice of appeal with the Secretary-Treasurer by one (1) of the following means:

1. Through the Ontario Land Tribunal e-file service (first-time users will need to register for a My Ontario Account) at <https://olt.gov.on.ca/e-file-service/> by selecting the Town of Niagara-on-the-Lake as the Approval Authority; or,

2. Through providing physical copies of the appeal materials to Town Hall 1593 Four Mile Creek Road, P.O. Box 100, Virgil, ON L0S 1T0
3. Through providing electronic copies of the appeal materials to the Secretary-Treasurer at natalie.thomson@notl.com.

The appeal fee can be paid online through e-file or by certified cheque/money order and submitted to the Town (certified cheque/money order to be addressed to the Minister of Finance, Province of Ontario). Further information and the required forms are available on the OLT website at www.olt.gov.on.ca.

Further notice and appeal eligibility:

Please note neighbours and other interested parties not defined by the Planning Act are no longer eligible to file appeals for this application as per Bill 23, More Homes Built Faster Act, 2022. Planning Act appeals may be filed by the applicant, the Minister of Municipal Affairs and Housing, a “specified person” (as defined by Planning Act 1(1)), and any “public body” (as defined by Planning Act 1(1)).

Information regarding the Local Planning Appeals Tribunal can be found at; <https://www.ontario.ca/document/citizens-guide-land-use-planning/ontario-land-tribunal>

Consent was obtained by the Secretary Treasurer on December 18, 2025 to insert electronic signatures of Committee members below;

ABSENT

Steve Bartolini
Committee of Adjustment



Margaret Louter (Vice Chair)
Committee of Adjustment

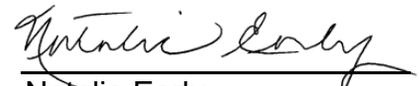


Eric Lehtinen (Chair)
Committee of Adjustment

Paul Johnson
Committee of Adjustment



Angelo Miniaci
Committee of Adjustment



Natalie Early
Committee of Adjustment



Chris Van de Laar
Committee of Adjustment

I, Natalie Thomson, Secretary Treasurer of the Committee of Adjustment for the Town of Niagara-on-the-Lake, hereby certify that the above is a true copy of the decision of the Committee of Adjustment with respect to the application recorded herein.

DATED at the Town of Niagara-on-the Lake on December 19th, 2025.



Natalie Thomson, Secretary-Treasurer

RECORD DRAWINGS

Based on As-built drawings prepared by Stone Eagle Winery Corp., Superintendent, dated SEPTEMBER 18, 2025

Record drawings prepared by: r. Varacalli Architect Inc. SEPTEMBER 23, 2025

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

GENERAL NOTES

1. READ IN CONJUNCTION WITH ALL STRUCTURAL, MECHANICAL, SPRINKLER, ELECTRICAL, CIVIL, GEOTECHNICAL, LANDSCAPE DRAWINGS & DOCUMENTATION.
2. REFER TO SHEET A2.1 FOR ALL FIRE RATING DETAILS, FIRE STOP AS PER DETAILS.
3. TYPICAL CONSTRUCTION NOTES UNLESS NOTED OTHERWISE:
 INTERIOR PARTITIONS "M"
 FOUNDATION WALLS "FW"
 SLAB ON GRADE "F1"
 SUPERSEDED FLOOR "F2"
 TERRACE FLOOR "T2"
 ROOF "R1"
4. PROVIDE SUPPORT BLOCKING AS REQUIRED FOR ALL DECORATIVE LIGHTS & CHANDISERS.
5. PROVIDE SUPPORT BLOCKING AS REQUIRED FOR ALL GRANITE WALLS, DRAPERS, TV'S, SPEAKERS & ALL OTHER MOUNTED EQUIPMENT.
6. VERIFY ALL GRADING WITH CIVIL DRAWINGS.

ALL EXPOSED CONCRETE WORK TO BE BARREL STORAGE B18 & B14 TO HAVE AN ARCHITECTURAL FINISH. REFER TO SPEC AND INTERIORS DRAWINGS

--- SENSITIVITY FIRE SEPARATION
--- SENSITIVITY FIRE SEPARATION
--- SENSITIVITY FIRE SEPARATION

CONSTRUCTION NOTES

- ◆ FLOOR DRAIN - REFER TO MECH DWGS. SLOPE FLOOR SLAB 2% TO DRAIN
- ◆ TRENCH DRAIN - REFER TO MECH DWGS. SLOPE FLOOR SLAB 2% TO DRAIN
- ◆ MECH DUCT SLAB OPENINGS OVER C/W FIRE DAMPERS
- ◆ 750MM HIGH LEVEL MECH DUCT WALL OPENING. G.C. TO COORDINATE WITH FINAL MECH DESIGN & TRADE ON SITE
- ◆ 750MM LOW LEVEL MECH DUCT WALL OPENING. G.C. TO COORDINATE WITH FINAL MECH DESIGN & TRADE ON SITE
- ◆ 2500MM PASSANGER ELEVATOR. ALL DIMENSIONS & FINISH BY OTHERS TO BE VERIFIED & CONFIRMED WITH APPROVED ELEVATOR SHOP DRAWINGS
- ◆ GLAZED ALUMINUM SCREEN SYSTEM
- ◆ BROCKMED 25MM FINISH TO RAMP
- ◆ GREASE INTERCEPTOR ABOVE. G.C. TO COORDINATE & ALLOW FOR OPENINGS IN HOLDING CORE SLAB ABOVE C/W SHIRT WALL ENCLOSURE BELOW SLAB & FIRE STOP ALL OUTLETS

CONCRETE FLOOR FINISH SCHEDULE

- CF-1 WATER REPELLENT SEALER
- CF-2 WATERPROOF FLOORING
- CF-3 CONCRETE FLOOR SEALER
- EX-1 SHOWY FLOORING

REFER TO SPECIFICATION FOR DETAILS

REF. DATE DESCRIPTION

REF.	DATE	DESCRIPTION
14	12.15.23	ISSUED FOR PERMIT AND TENDER
13	12.15.23	ISSUED FOR SH# 002
12	08.03.23	ISSUED FOR PERMIT
11	07.28.23	ISSUED FOR PROGRESS
10	06.29.23	ISSUED FOR DOOR SCH REV'S
9	06.01.23	ISSUED FOR COORDINATION
8	05.01.23	REISSUED FOR SPA
7	04.14.23	ISSUED TO SURVEY
6	02.08.23	FOUNDATION PROGRESS SET
5	12.28.22	ISSUED FOR FOUNDATION PERMIT
4	10.21.22	ISSUED FOR FOUNDATION PERMIT
3	08.30.22	ISSUED FOR SITE PLAN APPROVAL
2	03.21.21	ISSUED FOR ZONING APPLICATION
1	06.14.21	ISSUED FOR CONSULTANT RFP

REF. DATE DESCRIPTION

REVISIONS / ISSUANCE:

VFA Architecture + Design Inc.
 11 Warkenton Avenue, Toronto, ON M2J 2E6
 416-500-2724

CLIENT:
STONE EAGLE WINERY

ADDRESS: LOT 43 NIAGARA STONE RD.
 CITY: NIAGARA ON THE LAKE

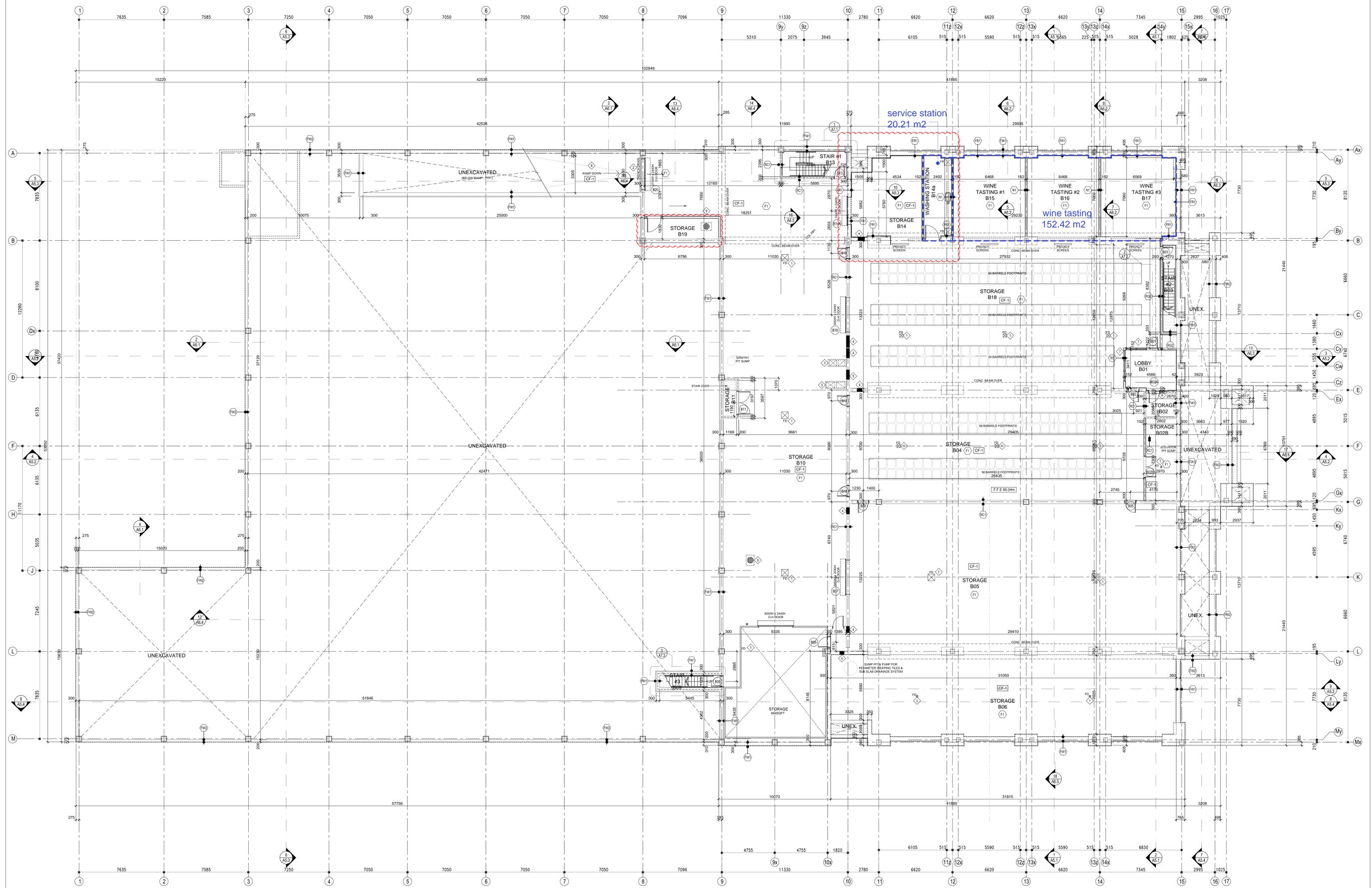
DRAWING TITLE:
BASEMENT FLOOR PLAN

DRAWN: SC

DATE: AUG. 2020 SCALE: 1:100

JOB NUMBER: SHEET NUMBER:

20-226 A3.1



BASEMENT FLOOR PLAN
A3.1 SCALE: 1:100

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SEPTEMBER 23, 2025

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 3. TYPICAL CONSTRUCTION NOTES UNLESS NOTED OTHERWISE:
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FOUNDATION WALLS "F1"
SLAB ON GRADE "S"
SUSPENDED FLOOR "F2"
TERRACE FLOOR "T2"
ROOF "R1"
 4. PROVIDE SUPPORT BLOCKING AS REQUIRED FOR ALL DECORATIVE LIGHTS & CHANDELIERS.
 5. PROVIDE SUPPORT BLOCKING AS REQUIRED FOR ALL CHAIR RAILS, DRINKERS, TV'S, SPEAKERS & ALL OTHER MOUNTED EQUIPMENT.
 6. VERIFY ALL GRADING WITH CIVIL DRAWINGS.

- CONSTRUCTION NOTES**
- ◆ BARRIER FREE TOUCHLESS ACTIVATOR FOR POWER DOOR OPERATOR INSTALLED 1050 FROM FF
 - ◆ PROVIDE ALCOVE IN WALL FOR ANNUNCIATOR PANEL (REFER TO ELEC)
 - ◆ FLOOR DRAIN - SLOPE FLOOR 2% TO DRAIN
 - ◆ MOTORIZED RETRACTABLE SCREEN C/W TRACKS RECESSED INTO COLUMN. PROVIDE POWER CONNECTION AS REQUIRED.
 - ◆ BARRIER FREE UNIVERSAL WASHROOM DESIGNER IN ACCORDANCE WITH CBC S 9.2500L PASSENGER ELEVATOR. ALL DIMENSIONS A ROUGH IN BY OTHERS TO BE VERIFIED & CONFIRMED WITH APPROVED ELEVATOR SHOP DRAWINGS.
 - ◆ BRICKED SMILE FINISH TO STAIR
 - ◆ INSULATED STEEL OH DOOR C/W AUTOMATIC OPENER
 - ◆ PROVIDE SKIM COAT FLOOR TOPPING AT COOLER / FREEZER TO ALLOW FOR RECESSED BOTTOM INSULATED PANEL. COORDINATE WITH APPROVED COOLER / FREEZER SHOP DRAWINGS.
 - ◆ CONC. FILLED STEEL BOLLARD
 - ◆ COMMERCIAL ALUMINUM GLAZED WINDOW & DOOR SYSTEM
 - ◆ X-BRACING - REFER TO STRUCTURAL
 - ◆ LINE KITCHEN WALLS WITH BROOKLYN FINISH PIP PANELS ADHERED TO GYP. BRD C/W ASS. PVC TRIMS & SEALANTS
 - ◆ GREASE INTERCEPTOR ABOVE - G.C. TO COORDINATE & ALLOW FOR OPENINGS IN HOLLOW CORE SLAB BELOW C/W SWIFT WALL ENCLOSURE BELOW SLAB & FIRE STOP ALL OUTLETS
 - ◆ RECEPTION DESK - REFER TO INTERIORS

14	12.15.23	ISSUED FOR PERMIT AND TENDER
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12	08.24.23	ISSUED FOR SH#001
11	08.02.23	ISSUED FOR PERMIT
10	07.28.23	ISSUED FOR PROGRESS
9	06.01.23	ISSUED FOR COORDINATION
8	05.01.23	REISSUED FOR SPA
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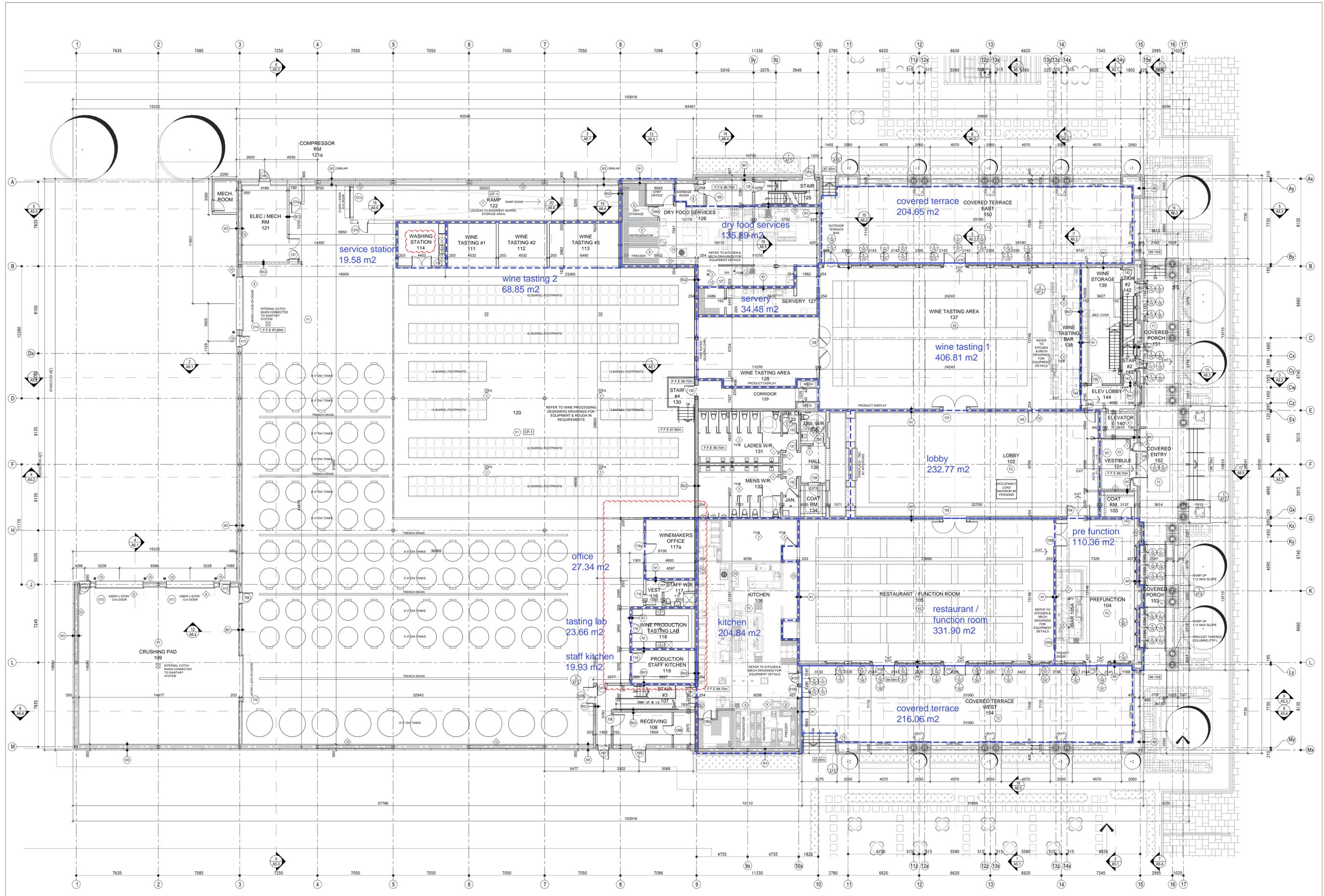
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CITY: NIAGARA ON THE LAKE

DRAWING TITLE:
GROUND FLOOR PLAN

DRAWN: SC
DATE: AUG. 2020 SCALE: 1:100
JOB NUMBER: 20-226 SHEET NUMBER: A3.2



GROUND FLOOR PLAN
A32 SCALE: 1:100

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 5. PROVIDE SUPPORT BLOCKING AS REQUIRED FOR ALL GRAN WALLS, DRINKERS, T.V.S, SPRINKLERS & ALL OTHER MOUNTED EQUIPMENT.
 6. VERIFY ALL GRADING WITH CIVIL DRAWINGS.

- CONSTRUCTION NOTES**
- ◆ BARRIER FREE TOUCHLESS ACTIVATOR FOR POWER DOOR OPERATOR INSTALLED 1000 FROM FFL.
 - ◆ ROOF ACCESS HATCH & FRIED WALL MOUNTED LADDER LOW COVER PLATE. PROVIDE PROPER HATCH SAFETY RAILING SYSTEM (BUL-GUARD 2.0).
 - ◆ X-BRACING - REFER TO STRUCTURAL.

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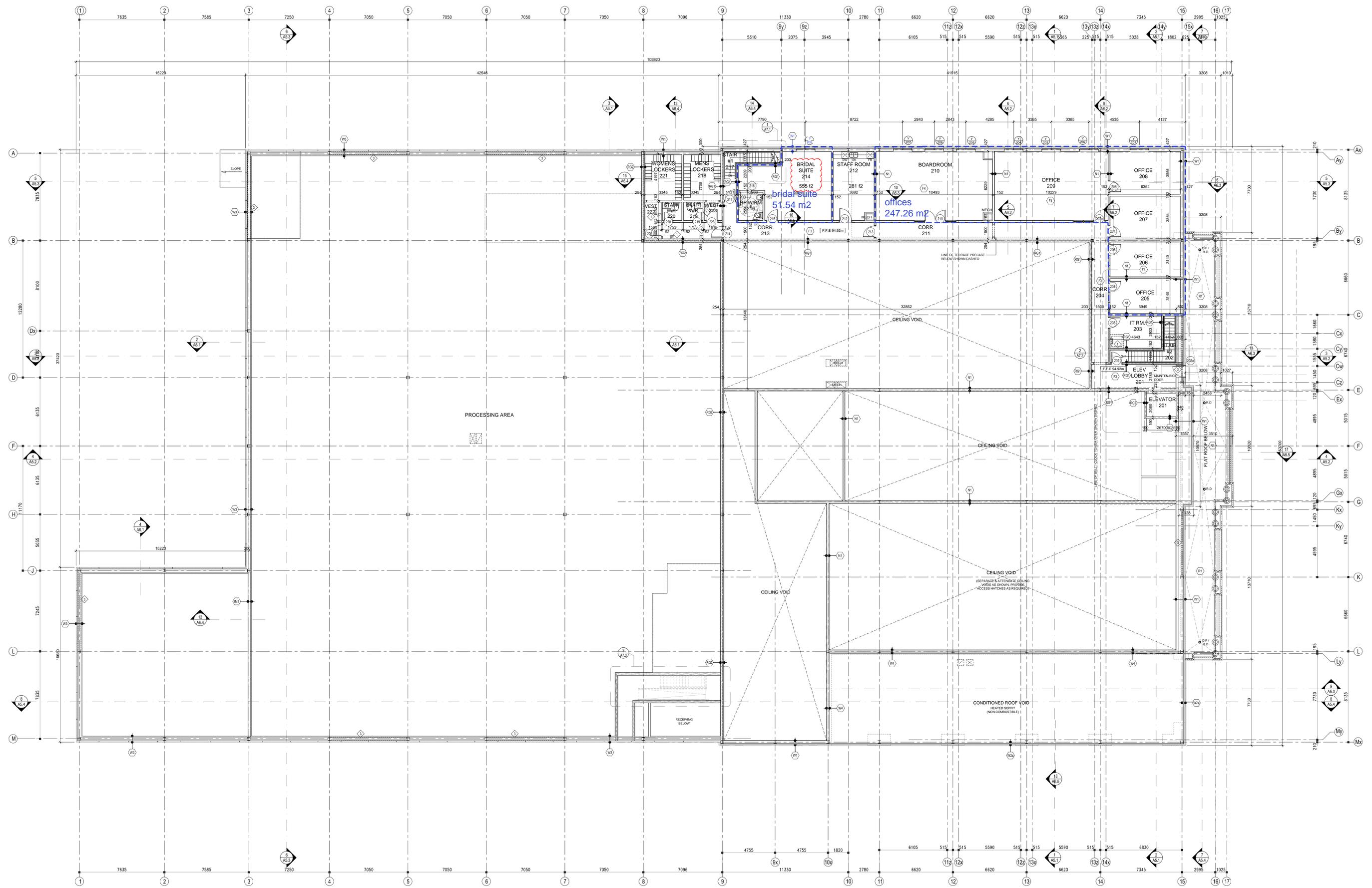
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SECOND FLOOR PLAN
 SCALE: 1:100