

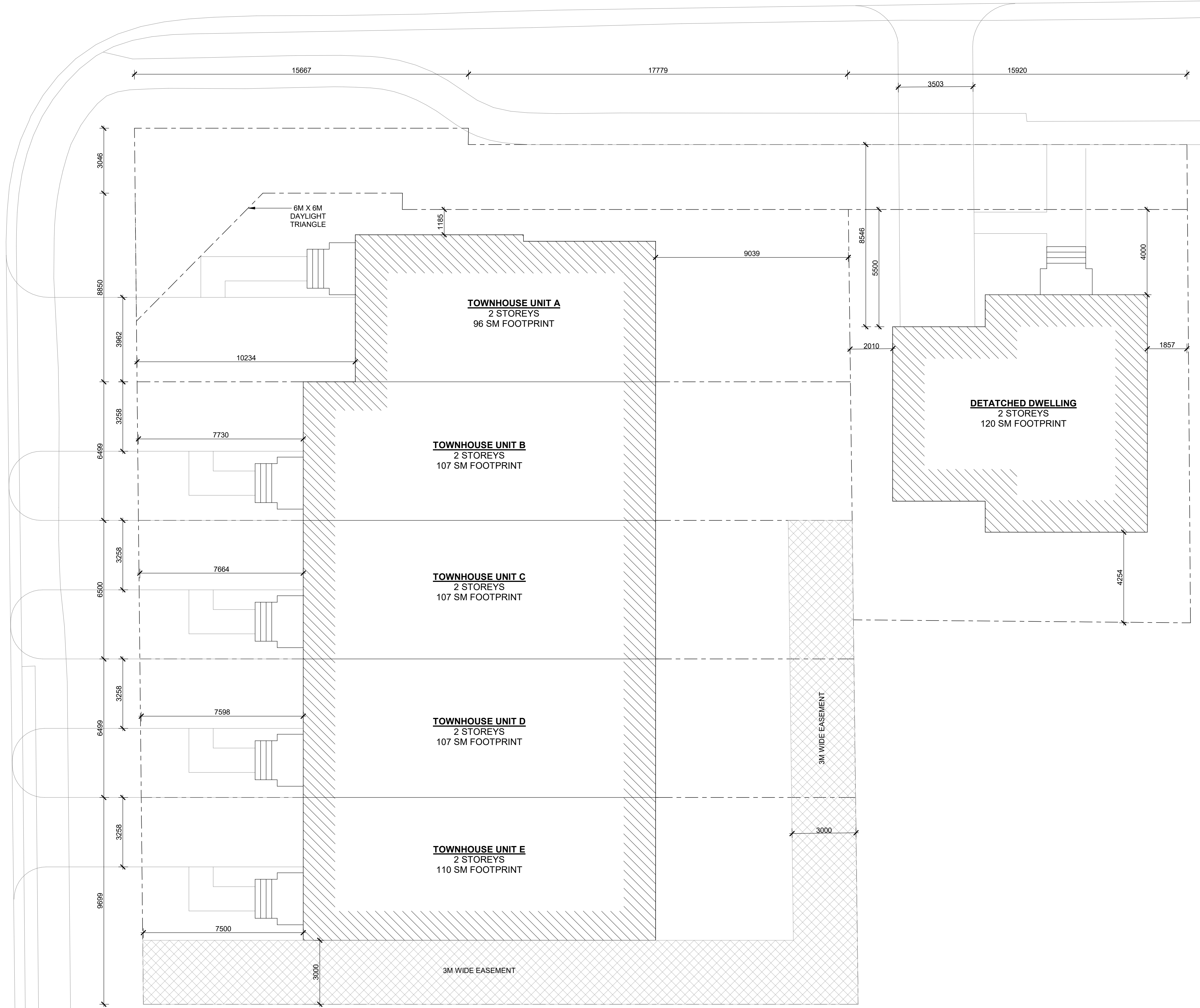


YORK ROAD RESIDENTIAL INFILL

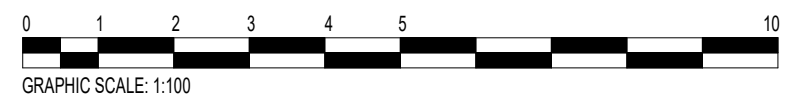
1317 YORK RD, NIAGARA-ON-THE-LAKE,
LOS 1P0

YORK ROAD

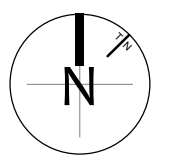
TANBARK ROAD



2 SITE PLAN
A1 1 : 100



KEY MAP



ADDRESS

CIVIC ADDRESS	1317 YORK ROAD, NOTL, ON, L0S 1J1
LEGAL DESCRIPTION	PT LOT 90

ZONING MATRIX

ZONING DESIGNATION:	R1	
BYLAW NUMBER	4316-09	
PERMITTED USES:	RM1 - TOWNHOUSES (SITE-SPECIFIC)	
	REQUIRED:	PROPOSED:
LOT AREA (MIN)	Min Interior Lot 230 SQ.M and Exterior Lot 300 SQ.M	Interior Lot - 217 SQ.M Exterior Lot - 280 SQ.M
LOT FRONTAGE (MIN AND MAX)	Min Interior Lot 6.2M and Exterior Lot 10.0M	Interior Lot - 6.5M Exterior Lot - 8.8M
FRONT YARD SETBACK TO THE FRONT FACE OF THE BUILDING (MIN)	4.5M	7.5M
FRONT YARD SETBACK (MAX)	6.0M	7.5M and 10.25M
FRONT YARD SETBACK TO FRONT FACE OF THE ATTACHED GARAGE (MIN)	7.5M	7.5M
SIDE YARD INTERIOR (MIN)	1.5M, End units taller than 5.0m then 1.8M no attached garage provided then 3.0M	3.0M
SIDE YARD EXTERIOR (MIN AND MAX)	4.5 M entrance to attached garage faces exterior side yard then 6.0M	1.1M
REAR YARD (MIN)	7.5 M Except for units having a height 8.0M or greater, then 9.0M shall be provided.	9.0M
BUILDING HEIGHT (MAX)	10.0 M	11.1M (TOR)
LANDSCAPE OPEN SPACE (MIN)	25%	35%
LOT COVERAGE (MAX)	45%	50%
MAXIMUM WIDTH OF GARAGE FACE	3.5M	3.2M 3.9M (Corner Lot)
MINIMUM DWELLING FLOOR AREA	80 SQ.M	96-110 SQ.M
MINIMUM ACCESSORY BUILDING YARDS SETBACK	0.5M	N/A
MINIMUM ACCESSORY BUILDING EXTERIOR SIDE YARD SETBACK	4.5M	N/A
PARKING (MIN)	2 STALLS	2 STALLS/UNIT

ZONING MATRIX

ZONING DESIGNATION:	R1 - RESIDENTIAL 1	
BYLAW NUMBER	4316-09	
PERMITTED USES:	R1 SINGLE DETACHED DWELLING (SITE-SPECIFIC)	
	REQUIRED:	PROPOSED:
LOT AREA (MIN)	668 SQ.M	306 SQ.M
LOT FRONTAGE (MIN)	18.0 M	15.9M
FRONT YARD (MIN AND MAX)	Min 6.0 M and Max 7.5 M	4.0M
FRONT YARD SETBACK TO FRONT FACE OF THE ATTACHED GARAGE	8.5M	5.5M
SIDE YARD INTERIOR (MIN)	1.5M, No attached garage 3.0M	1.8M
SIDE YARD EXTERIOR (MIN AND MAX)	4.5 M	N/A
REAR YARD (MIN)	7.5 M	4.2M
BUILDING HEIGHT (MAX)	10.0 M	11.1M
LANDSCAPE OPEN SPACE (MIN)	30%	50% (154 SQ.M)
LOT COVERAGE (MAX)	33%	40% (120 SQ.M)
MAXIMUM WIDTH OF GARAGE FACE	7.5M	4.3M
MINIMUM DWELLING FLOOR AREA	125 SQ.M	120 SQ.M
MINIMUM ACCESSORY BUILDING YARDS SETBACK	N/A	N/A
MINIMUM ACCESSORY BUILDING EXTERIOR SIDE YARD SETBACK	N/A	N/A
PARKING (MIN)	2 STALLS	2 STALLS/UNIT

C	OPA ZBA	11JUL2025	ZK
B	CLIENT REVIEW	17JUN2025	ZK
A	CLIENT REVIEW	21APR2025	ZK
Issue	Issued for	Date	Int.

Do not scale drawings. Report any discrepancies to Quartek Group Inc. before proceeding.
 Drawings must be sealed by the Architect and / or Engineer prior to the use for any building permit applications and / or government approval. Seals must be signed by the Architect and / or Engineer before drawings are used for any construction.
 All construction to be in accordance with the current Ontario Building Code and all applicable Ontario regulations.
 All drawings and related documents remain the property of Quartek Group Inc., all drawings are protected under copyright and under contract.

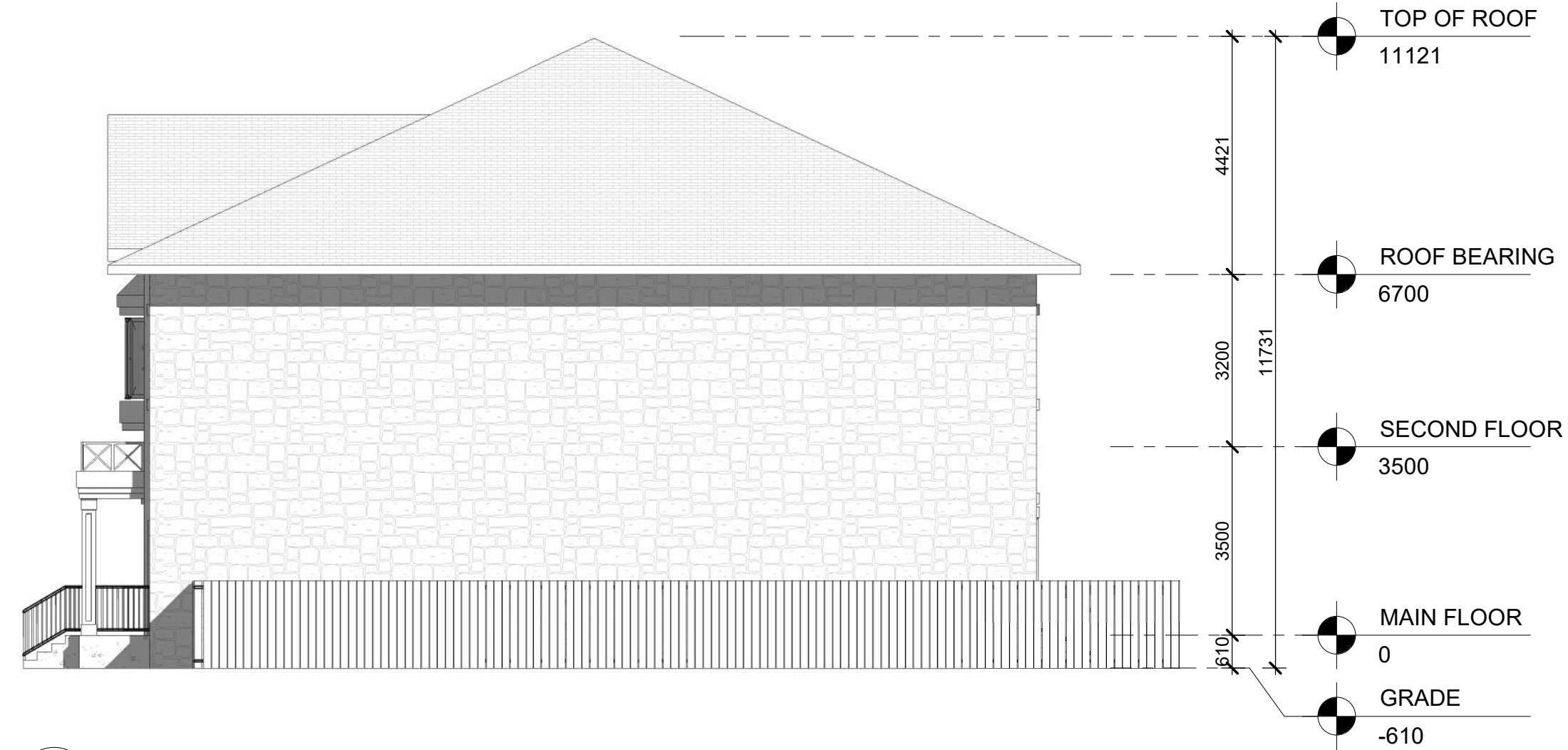
Quartek
 Architects • Planners
 Engineers • Project Managers
 T 905 984 8676
 89 - 91 St. Paul Street, Suite 100,
 St. Catharines, ON, L2R 3M3
 www.quartekgroup.com

Project Title
YORK ROAD RESIDENTIAL INFILL
 1317 YORK RD, NIAGARA-ON-THE-LAKE, L0S 1P0

Drawing Title

SITE PLAN

Drawn	Designed by
MT	MT
Scale	Date Created
As indicated	10APR2025
Job Number	Issue
24086	C
Drawing Number	



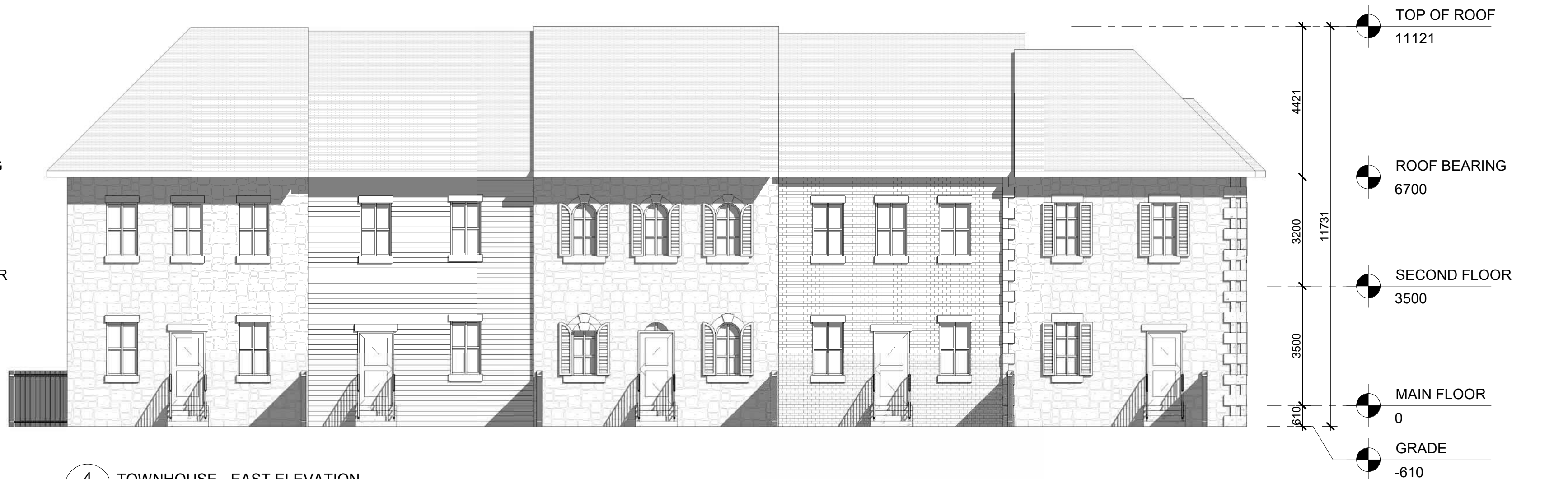
1 TOWNHOUSE - SOUTH ELEVATION
1 : 100



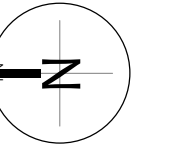
2 TOWNHOUSE - WEST ELEVATION
1 : 100



3 TOWNHOUSE - NORTH ELEVATION
1 : 100



4 TOWNHOUSE - EAST ELEVATION
1 : 100



B FOR ZBA 14 JUL 2025 MT
A CLIENT REVIEW 21 APR 2025 JK
Issue Issued for Date Int.

Seal

Do not scale drawings. Report any discrepancies to Quartek Group Inc. before proceeding.
Drawings must be sealed by the Architect and / or Engineer prior to the use for any building permit applications and / or government approval. Seals must be signed by the Architect and / or Engineer before drawings are used for any construction.
All construction to be in accordance with the current Ontario Building Code and all applicable Ontario regulations.
All drawings and related documents remain the property of Quartek Group Inc., all drawings are protected under copyright and under contract.

Quartek
Architects • Planners
Engineers • Project Managers
T 905 984 8676
89 - 91 St. Paul Street, Suite 100,
St. Catharines, ON, L2R 3M3
www.quartekgroup.com

Project Title

YORK ROAD RESIDENTIAL INFILL
1317 YORK RD, NIAGARA-ON-THE-LAKE, LOS 1P0

Drawing Title

TOWNHOUSE ELEVATIONS AND FLOOR PLANS

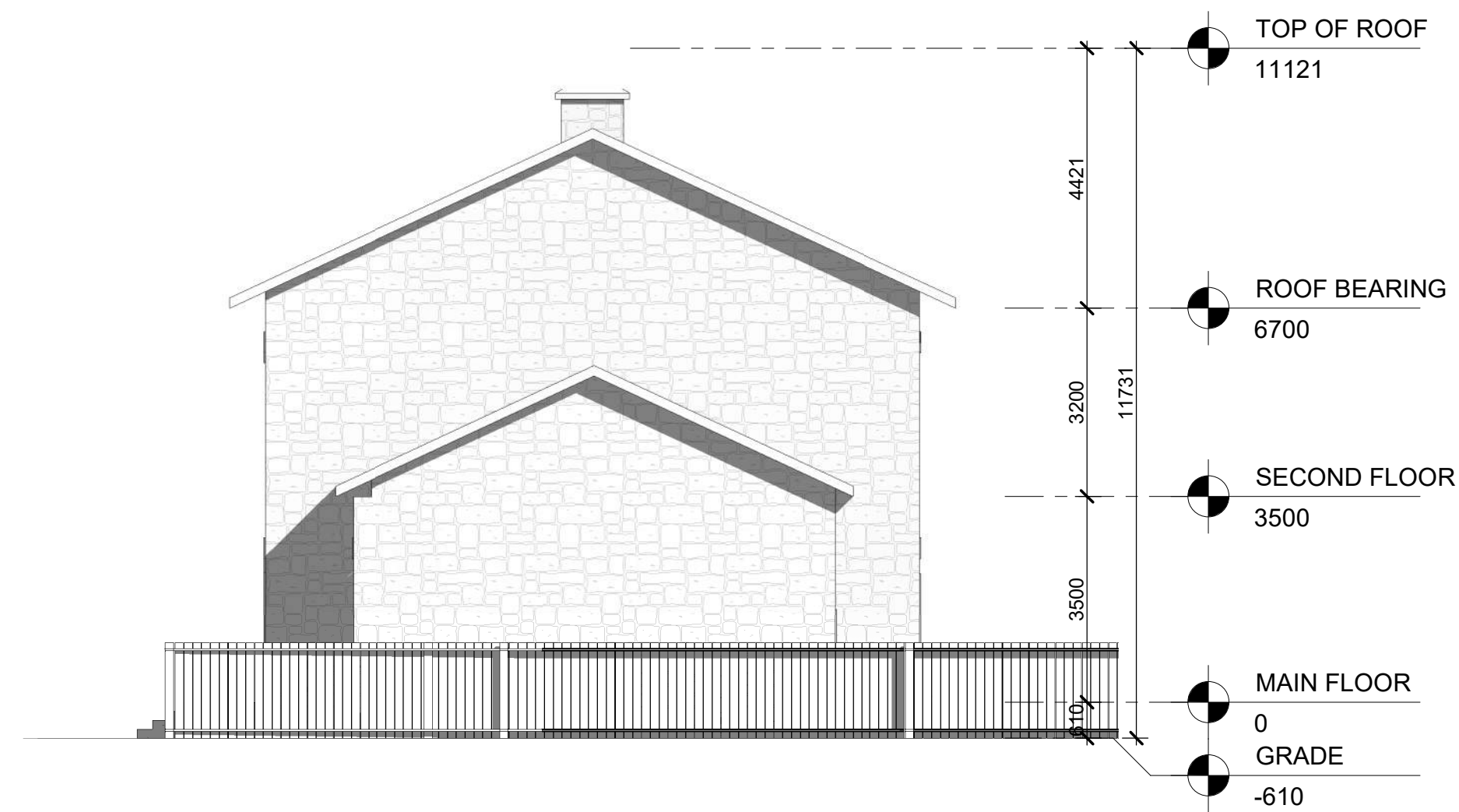
Drawn: MT Designed by: MT

Scale: 1 : 100 Date Created: 04/11/25

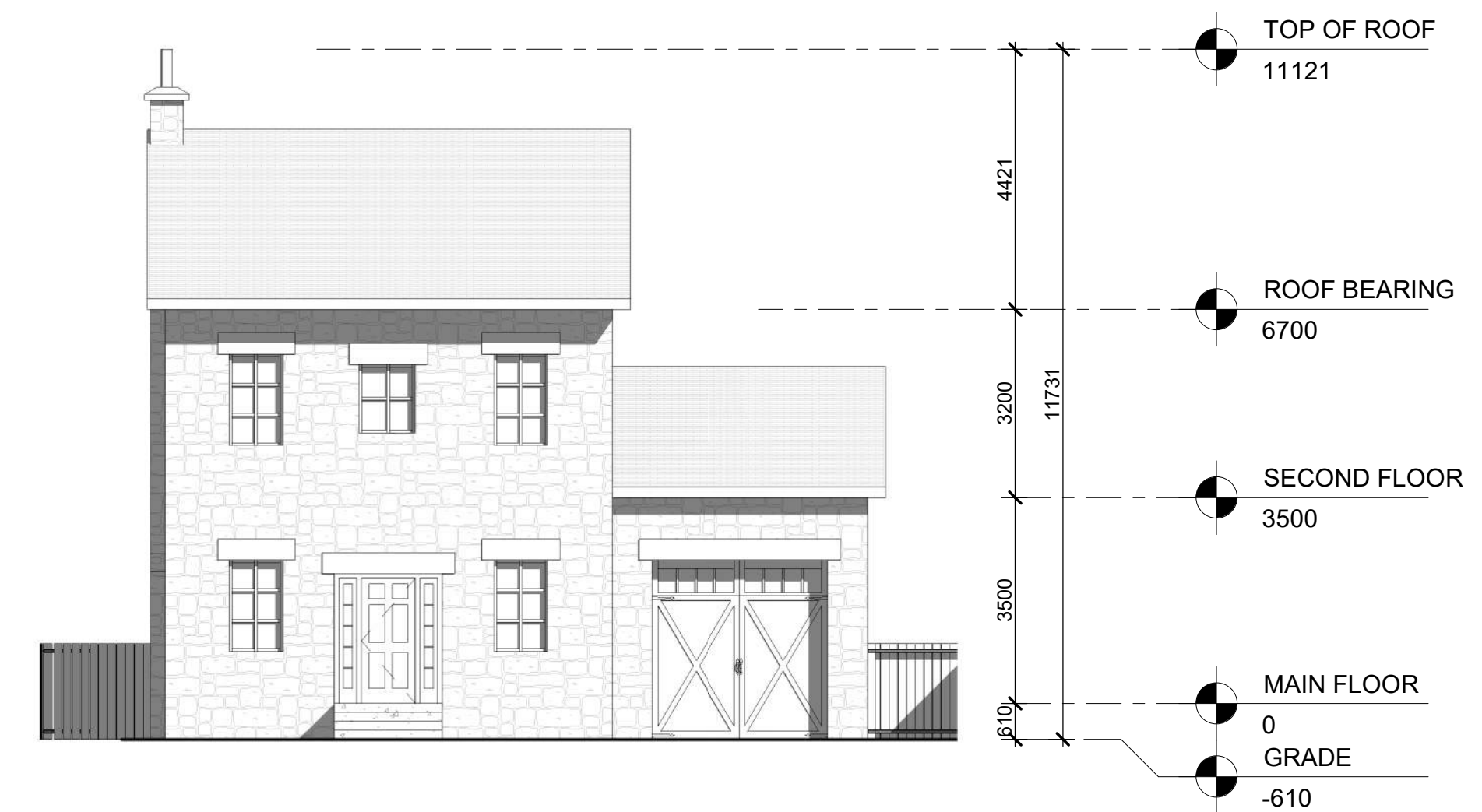
Job Number: 24086 Issue: B

Drawing Number

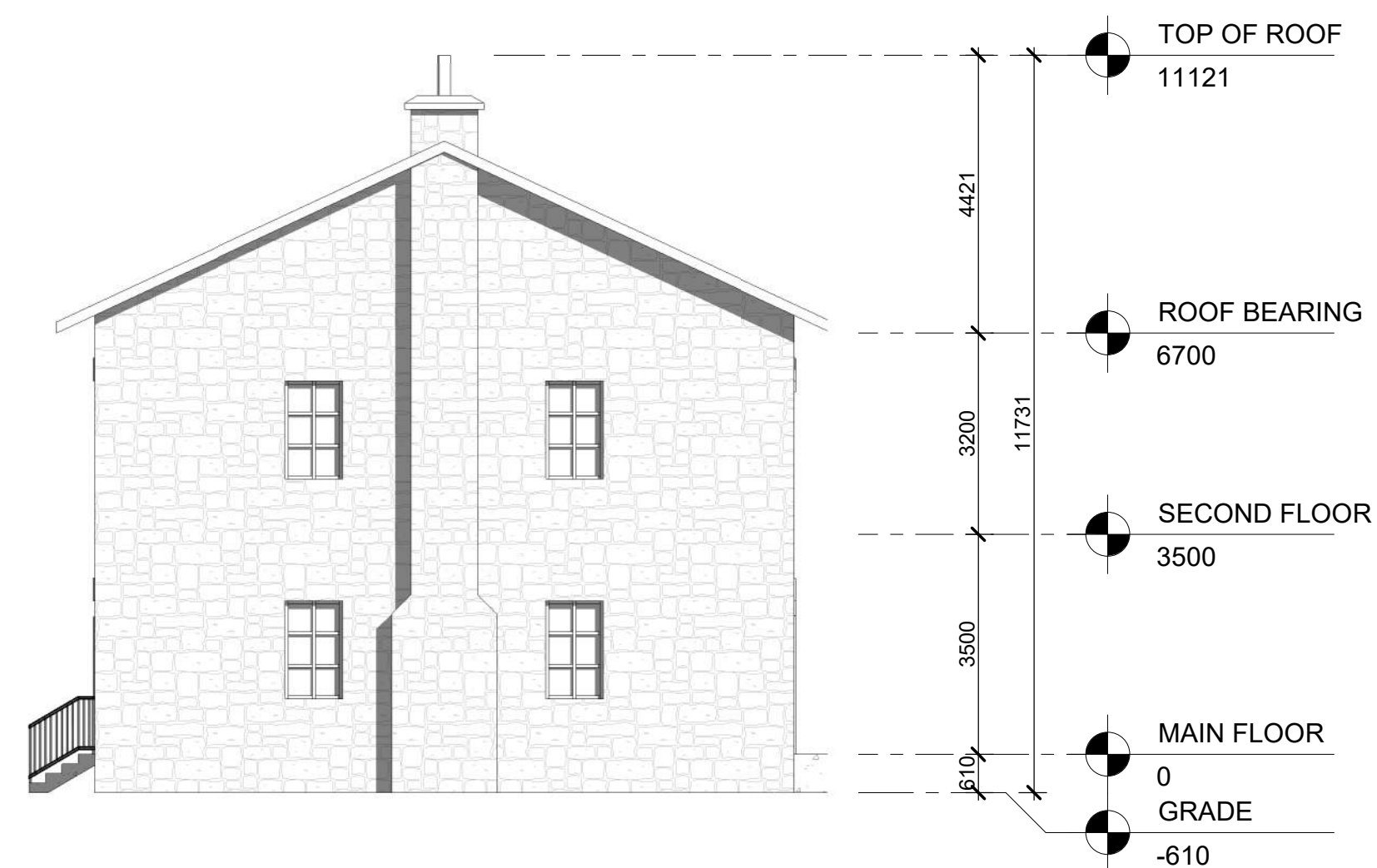
A3



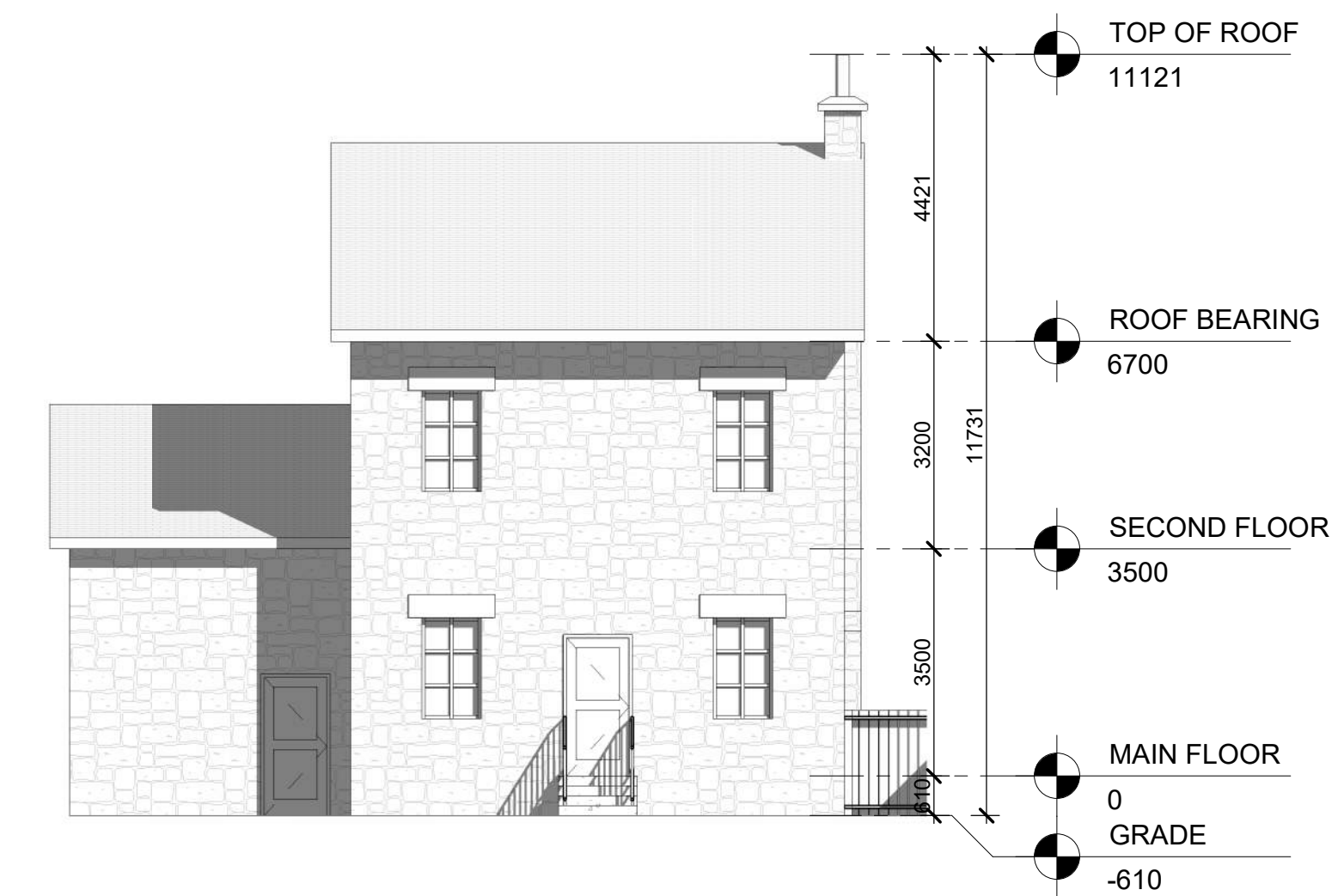
1 HOUSE - WEST ELEVATION
A4 1 : 100



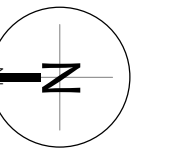
2 HOUSE - NORTH ELEVATION
A4 1 : 100



3 HOUSE - EAST ELEVATION
A4 1 : 100



4 HOUSE - SOUTH ELEVATION
A4 1 : 100



B FOR ZBA 14 JUL 2025 MT
A CLIENT REVIEW 21 APR 2025 JK

Issue Issued for Date Int.

Seal

Do not scale drawings. Report any discrepancies to Quartek Group Inc. before proceeding.
Drawings must be sealed by the Architect and / or Engineer prior to the use for any building permit applications and / or government approval. Seals must be signed by the Architect and / or Engineer before drawings are used for any construction.
All construction to be in accordance with the current Ontario Building Code and all applicable Ontario regulations.
All drawings and related documents remain the property of Quartek Group Inc., all drawings are protected under copyright and under contract.



• Architects • Planners
• Engineers • Project Managers
T 905 984 8676
89 - 91 St. Paul Street, Suite 100,
St. Catharines, ON L2R 3M3
www.quartekgroup.com

Project Title

YORK ROAD RESIDENTIAL
INFILL

1317 YORK RD, NIAGARA-ON-THE-LAKE,
L0S 1P0

Drawing Title

HOUSE ELEVATIONS

Drawn MT Designed by MT

Scale 1 : 100 Date Created 04/15/25

Job Number 24086 Issue B

Drawing Number

A4