

1. ZONING				
ZONING				
2. SITE AREA				
SUBJECT PROPERTY	SQ. FEET (ft²)	SQ. METER (m²)	ACRES (ac)	HECTARES (ha)
25.732.2H²	89,316.8H²	8,297.8m²	2.05 ac	0.83 ha
ROAD ALLOWANCE	25,732.2H²	2,390.6m²	0.59 ac	0.24 ha
TOTAL	115,049.0H²	10,688.4m²	2.64 ac	1.07 ha

3. UNIT MIX						
	STUDIO	1B	1B+D	2B	2B+D	3B/3B+D
GROUND FLOOR	-	-	2	5	-	0
2ND FLOOR	-	-	4	6	-	0
3RD FLOOR	-	-	-	4	-	2
4TH FLOOR	-	-	-	4	-	2
TOTAL	-	-	6	19	-	4
* OF WHICH 13% ARE BARRIER FREE						

4. BUILDING HEIGHT		OVERALL HEIGHT MEASURED FROM MEASURED FROM GF TO MAIN ROOF
PROPOSED RESIDENTIAL BUILDING HEIGHT:	4 STOREY	
PROPOSED COMMERCIAL & OFFICE BUILDING HEIGHT:	2 STOREY	

5. FLOOR AREA			
FLOOR AREA - MEANS THE AGGREGATE AREA OF A BUILDING CONTAINED WITHIN THE EXTERIOR WALLS, BUT DOES NOT INCLUDE ATTIC OR BASEMENT SPACE UNLESS OTHERWISE SPECIFIED BY THIS B.Y.L.W.			
	NO. FLS x SQ METER (m²)	SQ METER (m²)	SQ FEET (ft²)
RESIDENTIAL			
GROUND FLOOR		974m²	
2ND FLOOR		974m²	
3RD-4TH FLOOR	2 FLS x 778m²	1,556m²	
MECH PENTHOUSE/STAIR		195m²	
TOTAL		* 3,699m²	39,816ft²
COMMERCIAL & OFFICE			
GROUND FLOOR		1,749m²	
COMMERCIAL		1,670m²	
SERVICE SPACE		79m²	
2ND FLOOR (OFFICE)		1,749m²	
MECH PENTHOUSE/STAIR		220m²	
TOTAL		3,718m²	40,020ft²
TOTAL		7,417m²	79,836ft²
* OF WHICH 85m² IS INDOOR AMENITY			

6. DENSITY		
GROSS FLOOR AREA / LOT AREA	7,417m² / 10,688.4m²	0.69

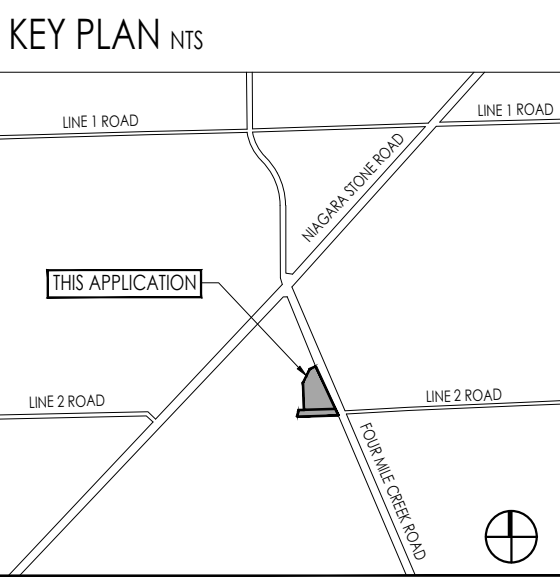
7. PARKING				
TOTAL PARKING REQUIRED:	90 (1/118.5m²)	63 (1/128m²)	13 (1/30m²)	29 (1 SP/U)
	COMMERCIAL (GF)	OFFICE (2ND FL)	OUTDOOR PATIO	RESIDENTIAL TOTAL
SURFACE	82	0	13	0
P1 UNDERGROUND	8	63	0	34
TOTAL PROVIDED	90 (1/118.5m²)	63 (1/128m²)	13 (1/30m²)	34 (1.17 SP/U)
* OF WHICH 4 ARE REQUIRED TO BE BARRIER-FREE (CITY BY-LAW REQUIREMENTS)				

8. LOCKER STORAGE	
P1 UNDERGROUND	29 (1 LOCKER/U)

9. BICYCLE PARKING	
REQUIRED BICYCLE PARKING:	PROVIDED BICYCLE PARKING:
COMMERCIAL (REQUIRE MIN. 8 @ 1/200m²)	8 (@ SURFACE)
OFFICE (REQUIRE MIN. 7 @ 1/250m²)	7 (UNDERGROUND)
OUTDOOR PATIO (REQUIRE MIN. 8 @ 2/100m²)	21 (@ SURFACE)
TOTAL PROVIDED	36

10. INDOOR & OUTDOOR AREA		
	SQ METER (m²)	SQ FEET (ft²)
RESIDENTIAL		
INDOOR AMENITY	85m²	
OUTDOOR AMENITY TERRACE	29m²	
PLAYGROUND	77m²	
PLAZA	65m²	
RESIDENTIAL BALCONIES/PATIOS	801m²	
TOTAL	1,057m²	11,377ft²
COMMERCIAL		
OUTDOOR PATIO 1	48m²	
OUTDOOR PATIO 2	149m²	
OUTDOOR PATIO 3	149m²	
OUTDOOR PATIO 4	44m²	
TOTAL	390m²	4,198ft²

11. COVERAGE			
	SQ. METER (m²)	SQ. FEET (ft²)	%
BUILDING	2,904m²		27%
LANDSCAPED AREAS	3,508.4m²		33%
DRIVEWAY AREAS	4,276m²		40%
TOTAL	10,688.4m²		100%



SURVEY INFORMATION	
PLAN OF SURVEY (DATE: FEB 18, 2025)	PART OF TOWNSHIP LOT 112 & PART OF ROAD ALLOWANCE BETWEEN TOWNSHIP LOTS 111 & 112 IN THE TOWNSHIP OF NIAGARA-ON-THE-LAKE, REGIONAL MUNICIPALITY OF NIAGARA
NOTES	DISTANCES, ELEVATION AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048 ELEVATIONS ARE GEODETIC ORIGIN (CGVD 1928-78), AND ARE DERIVED FROM REAL TIME NETWORK (RTN) OBSERVATIONS AND NATURAL RESOURCES CANADA'S GEOD MODEL HT2.0 REVISED TO SHOW REMOVED BERM & CURBS ON EAST SIDE OF FOUR MILE CREEK ROAD & NEW DRIPLINE AS MARKED OUT THIS PLAN WAS PREPARED FOR REZEN HOLDING CORPORATION AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.
SURVEYOR CONTACT INFORMATION	BARICH GRENKIE SURVEYING LTD. 301 HWY NO.8 (2ND FLOOR) - STONEY CREEK, ON L8G 1E5 TEL: (905) 642-6747

SITE PLAN LEGEND	
MAIN ENTRANCE	
EXISTING GRADE DATUM	
FINISH FLOOR ELEVATION	
ESTABLISHED GRADE	
PROPOSED GRADE DATUM	
EXISTING TREE (REFER TO SURVEY)	
CANOPY NOT TO SCALE	
PROPOSED TREE (REFER TO LANDSCAPE DWGS)	
EXISTING HYDRANT (REFER TO SURVEY)	
SIAMENSE CONNECTION (REFER TO MECH/CIVIL DWGS)	
SANITARY MANHOLE (REFER TO CIVIL DWGS)	
STORM SEWER MANHOLE (REFER TO CIVIL DWGS)	
CATCHBASIN SEDIMENT TRAP (REFER TO CIVIL DWGS)	
CATCHBASIN (REFER TO CIVIL DWGS)	
EXISTING STREET LIGHT (REFER TO SURVEY/ELEC)	
EXISTING UTILITY POLE (REFER TO SURVEY/ELEC)	
EXISTING GUY WIRE (REFER TO SURVEY/ELEC)	
AREA DRAIN	
HOSE RIB (REFER TO MECH/CIVIL DWGS)	
SIGNAGE (REFER TO TRAFFIC REPORT)	
BF = BARRIER FREE PARKING	
FWS = FLASHING WARNING SYSTEM	
CM = WALL MOUNTED CONVEX MIRROR	

PARKING LEGEND	
DRIVE ISLE - 6M MINIMUM	
PROPOSED HORIZONTAL BICYCLE PARKING (600X1800) - ALSO REFER TO LANDSCAPE DWGS	
PROPOSED PARKING SPACE (2750X6000) - TYPICAL PARKING SPACE	
PROPOSED VISITOR PARKING SPACE (2750X6000) - TYPICAL PARKING SPACE	
PROPOSED BARRIER-FREE PARKING SPACE (3700X6000) PARKING SPACE	
PROPOSED LOADING SPACE (3600X9000)	

GENERAL NOTES	
1.	LOADING SPACE AND STAGING PAD TO BE LEVEL (+/- 2%) AND CONSTRUCTED OF MINIMUM 200mm REINFORCED CONCRETE. MINIMUM 6.1m UNCLIMBERED VERTICAL CLEARANCE REQUIRED
2.	ACCESS DRIVEWAYS TO BE USED BY COLLECTION VEHICLES TO HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT
3.	ANY DRIVEWAY OR COLLECTION AREA REQUIRING A COLLECTION VEHICLE TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE TO BE RATED TO SAFELY SUPPORT THE REQUIRED LOADS

12. LOT FRONTAGE	
LOT FRONTAGE (FOUR MILE CREEK DRIVE)	87.44m

13. LOADING AREA	
LOADING AREAS (3.6m x 9m)	2

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ANDRE BROUCH  
DPL ARCH, OAA MRAC

DATE

1 APRIL 10, 2025 ISSUED FOR REZONING AB

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ANDRE BROUCH  
LICENCE 6471

1544 & 1546  
FOUR MILE CREEK RD  
RESIDENTIAL DEVELOPMENT

FOUR MILE CREEK NIGARA-ON-THE-LAKE, ONTARIO

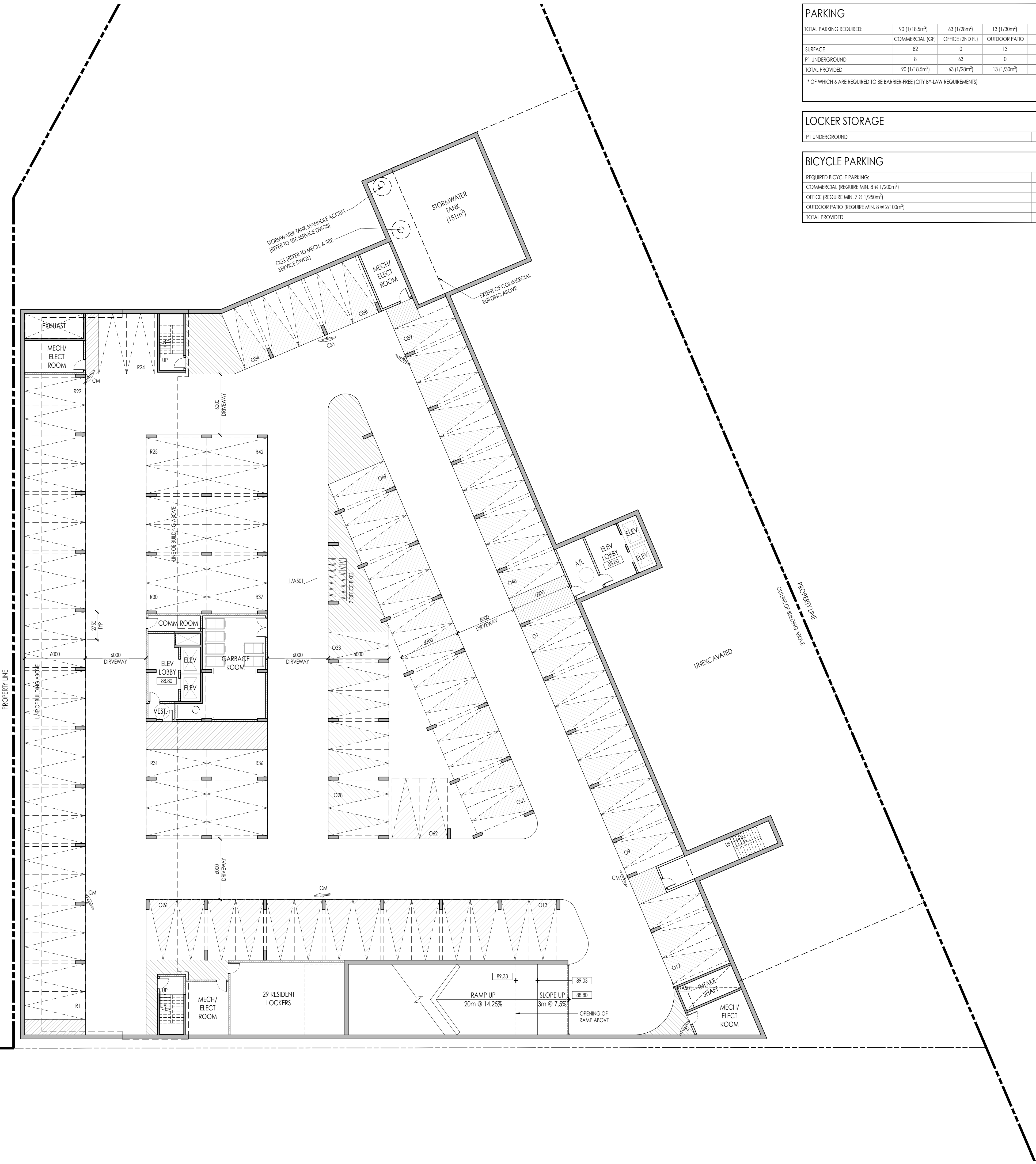
Drawing title  
SITE PLAN

Date MARCH, 2025 Drawn By PL/YL

Scale 1:300 Reviewed By AB

Project No. 23.11 Drawing No. A102

Plot Date April 10, 2025



PARKING					
TOTAL PARKING REQUIRED:	90 (1/18.5m <sup>2</sup> )	63 (1/28m <sup>2</sup> )	13 (1/30m <sup>2</sup> )	29 (1 SP/U)	195 *
SURFACE	82	0	13	0	95
P1 UNDERGROUND	8	63	0	34	105
TOTAL PROVIDED	90 (1/18.5m <sup>2</sup> )	63 (1/28m <sup>2</sup> )	13 (1/30m <sup>2</sup> )	34 (1.17 SP/U)	200
* OF WHICH 6 ARE REQUIRED TO BE BARRIER-FREE (CITY BY-LAW REQUIREMENTS)					

LOCKER STORAGE	
P1 UNDERGROUND	29 (1 LOCKER/U)

BICYCLE PARKING	
REQUIRED BICYCLE PARKING:	PROVIDED BICYCLE PARKING:
COMMERCIAL (REQUIRE MIN. 8 @ 1/220m <sup>2</sup> )	8 (8 SURFACE)
OFFICE (REQUIRE MIN. 7 @ 1/250m <sup>2</sup> )	7 (UNDERGROUND)
OUTDOOR PATIO (REQUIRE MIN. 8 @ 2/100m <sup>2</sup> )	21 (8 SURFACE)
TOTAL PROVIDED	36

SITE PLAN LEGEND NTS	
MAIN ENTRANCE	
EXISTING GRADE DATUM	
FINISH FLOOR ELEVATION	
ESTABLISHED GRADE	
PROPOSED GRADE DATUM	
EXISTING HYDRANT (REFER TO SURVEY)	
SIAMSESE CONNECTION (REFER TO MECH/CIVIL DWGS)	
SANITARY MANHOLE (REFER TO CIVIL DWGS)	
STORM SEWER MANHOLE (REFER TO CIVIL DWGS)	
CATCHBASIN SEDIMENT TRAP (REFER TO CIVIL DWGS)	
CATCHBASIN (REFER TO CIVIL DWGS)	
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SIGNAGE (REFER TO TRAFFIC REPORT)	
BF = BARRIER FREE PARKING	
FWS = FLASHING WARNING SYSTEM	
CM = WALL MOUNTED CONVEX MIRROR	

PARKING LEGEND NTS	
DRIVE ISLE - 6M MINIMUM	
PROPOSED HORIZONTAL BICYCLE PARKING (600X1800) - ALSO REFER TO LANDSCAPE DWGS	
PROPOSED PARKING SPACE (2750X6000) - TYPICAL PARKING SPACE	
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PROPOSED BARRIER-FREE PARKING SPACE (3700X6000) PARKING SPACE	
PROPOSED LOADING SPACE (3600X9000)	

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ANDRÉ BROCHU  
DPL ARCH, OAA MRAC  
DATE

1	APRIL 10, 2025	ISSUED FOR REZONING	AB
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LICENCE  
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1544 & 1546  
FOUR MILE CREEK RD  
RESIDENTIAL DEVELOPMENT

FOUR MILE CREEK NIGARA-ON-THE-LAKE, ONTARIO

Drawing title  
UNDERGROUND P1 PLAN

Date	MARCH, 2025	Drawn By	PL/YL
Scale	1:200	Reviewed By	AB
Project No.	23.11	Drawing No. <b>A201</b>	
Plot Date	April 10, 2025		

# MATERIAL LIST

- 1 - BRICK OR PRECAST PANELS
- 2 - PRECAST WINDOW SILL
- 3 - PRECAST SURROUND
- 4 - PRECAST COPING
- 5 - ARCHITECTURAL CORNICE
- 6 - DOUBLE GLAZED VISION GLASS IN PREFINISHED ALUM. FRAMING
- 7 - BACK-PAINTED SPANDREL GLASS PANEL IN PREFIN. ALUM. FRAMING
- 8 - PREFINISHED ALUMINIUM LOUVRE (TO MATCH WINDOW FRAME)
- 9 - PREFINISHED ALUMINIUM SLAB COVER (TO MATCH WINDOW FRAME)
- 10 - RAILING: PREFINISHED ALUMINIUM FRAMING, WITH CLEAR GLASS BALCONY PANEL
- 11 - PREFINISHED ALUMINIUM CANOPY
- 12 - CANVAS RETAIL CANOPY

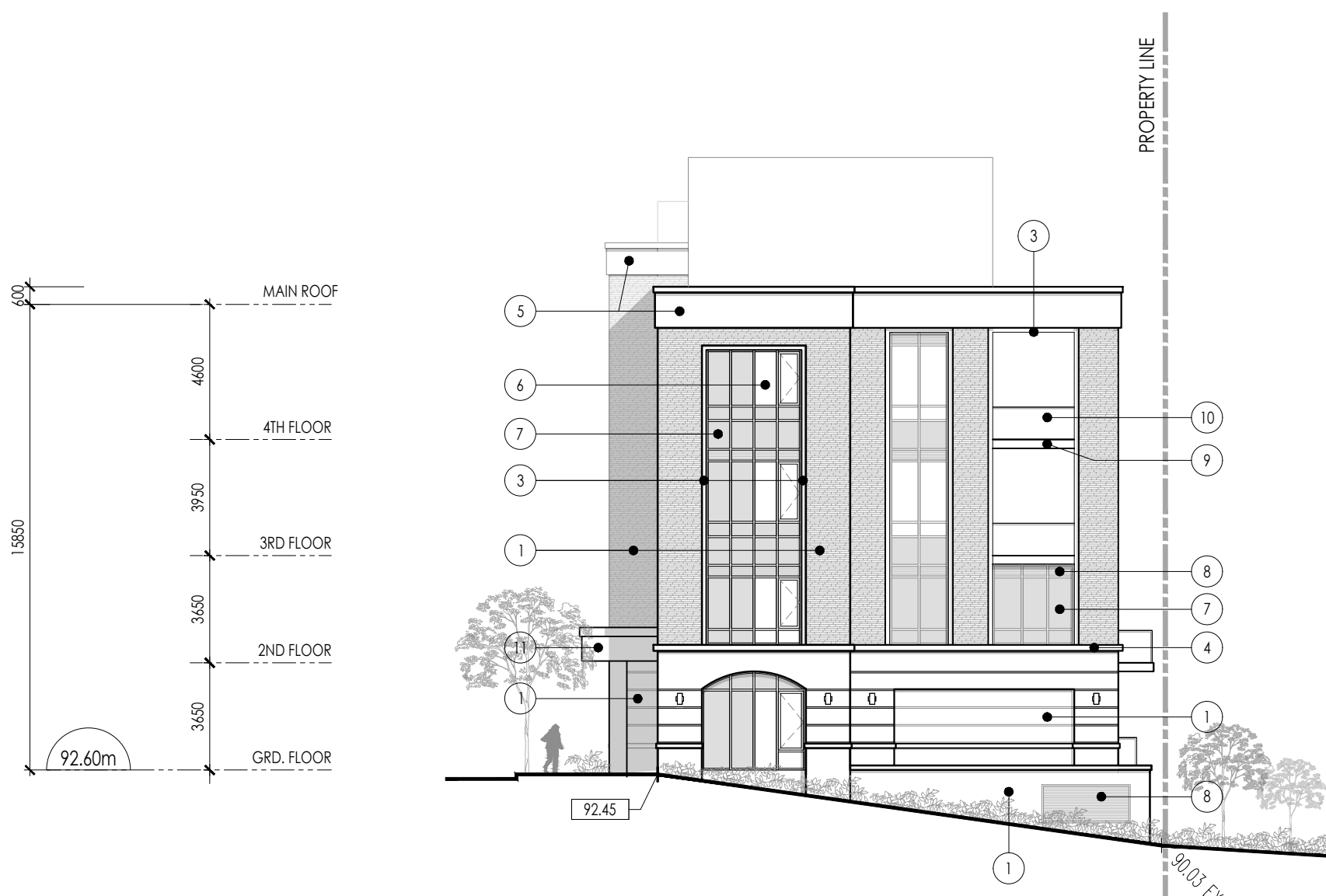
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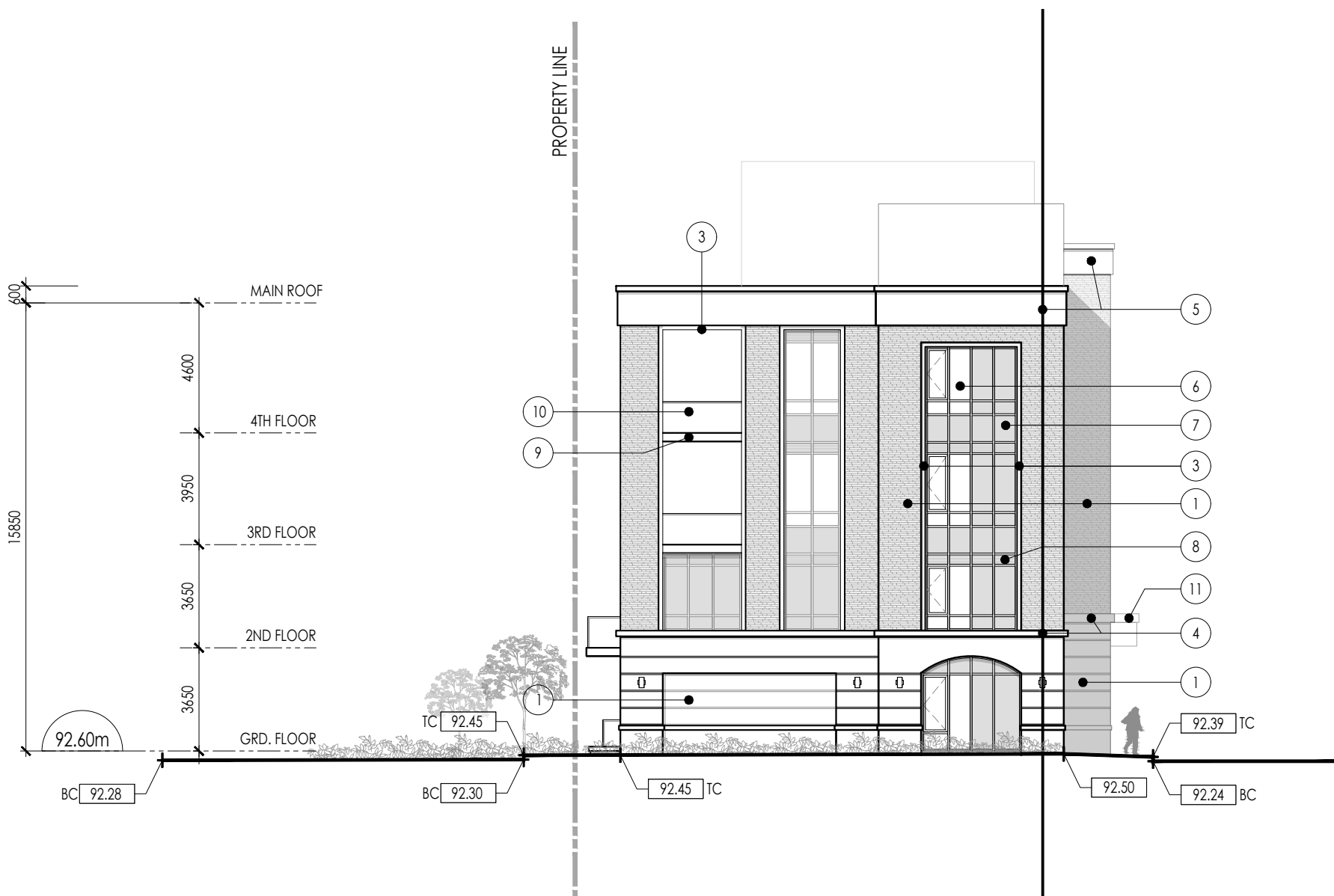
DATE



4 NORTH ELEVATION  
A401 SCALE: 1:200 REFERENCE DWG.



2 WEST ELEVATION  
A401 SCALE: 1:200 REFERENCE DWG.



3 SOUTH ELEVATION  
A401 SCALE: 1:200 REFERENCE DWG.



1 EAST ELEVATION  
A401 SCALE: 1:200 REFERENCE DWG.

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FOUR MILE CREEK RD  
RESIDENTIAL DEVELOPMENT

FOUR MILE CREEK NIGARA-ON-THE-LAKE, ONTARIO

Drawing title

BUILDING ELEVATIONS  
RESIDENTIAL

Date	MARCH, 2025	Drawn By	PL/YL
Scale	1:200	Reviewed By	AB
Project No.	23.11	Drawing No.	A401
Plot Date	April 10, 2025		

# MATERIAL LIST

- 1 - BRICK OR PRECAST PANELS
- 2 - PRECAST WINDOW SILL
- 3 - PRECAST SURROUND
- 4 - PRECAST COPING
- 5 - ARCHITECTURAL CORNICE
- 6 - DOUBLE GLAZED VISION GLASS IN PREFINISHED ALUM. FRAMING
- 7 - BACK-PAINTED SPANDREL GLASS PANEL IN PREFIN. ALUM. FRAMING
- 8 - PREFINISHED ALUMINIUM LOUVRE (TO MATCH WINDOW FRAME)
- 9 - PREFINISHED ALUMINIUM SLAB COVER (TO MATCH WINDOW FRAME)
- 10 - RAILING: PREFINISHED ALUMINIUM FRAMING, WITH CLEAR GLASS BALCONY PANEL
- 11 - PREFINISHED ALUMINIUM CANOPY
- 12 - CANVAS RETAIL CANOPY

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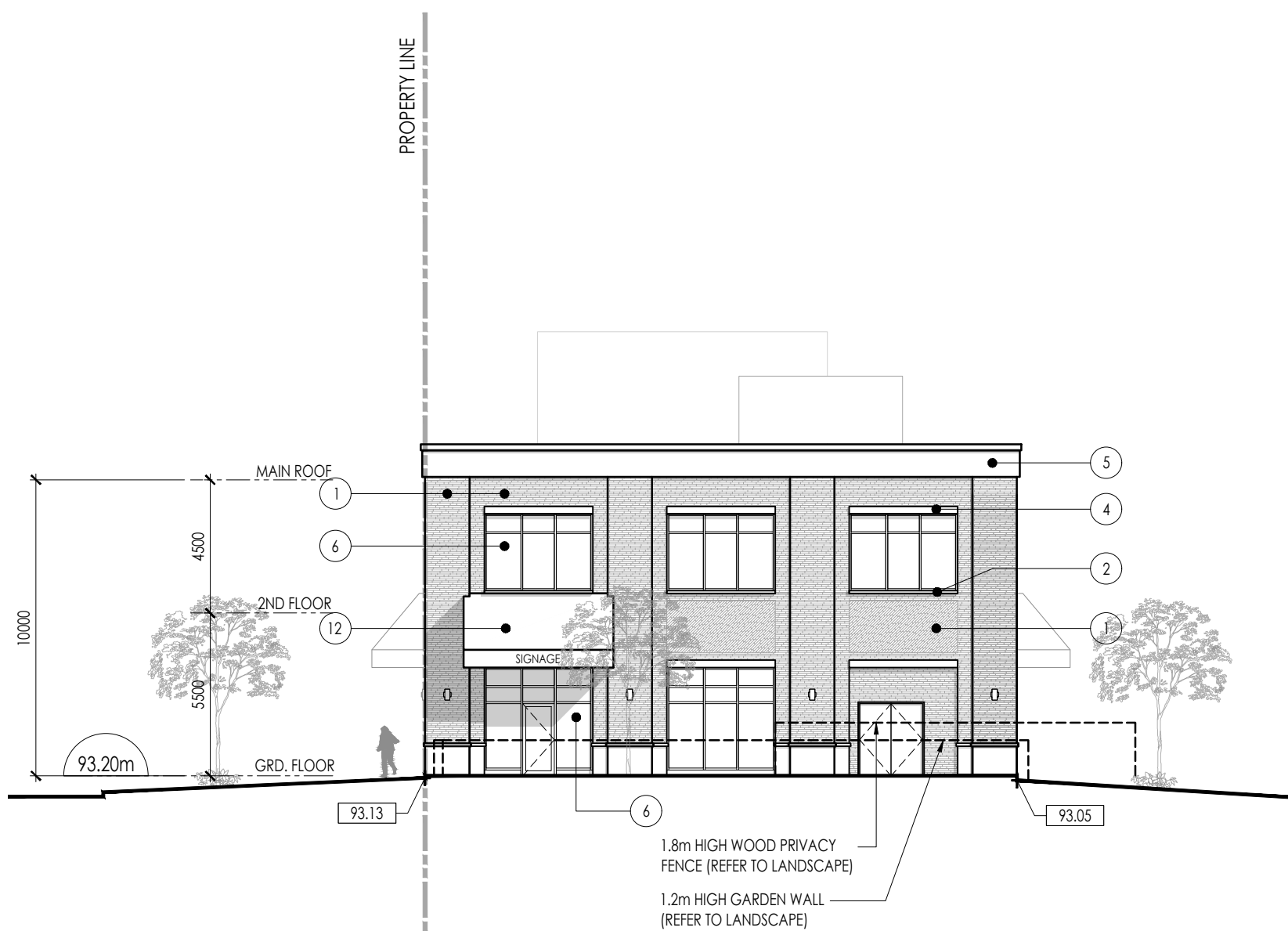
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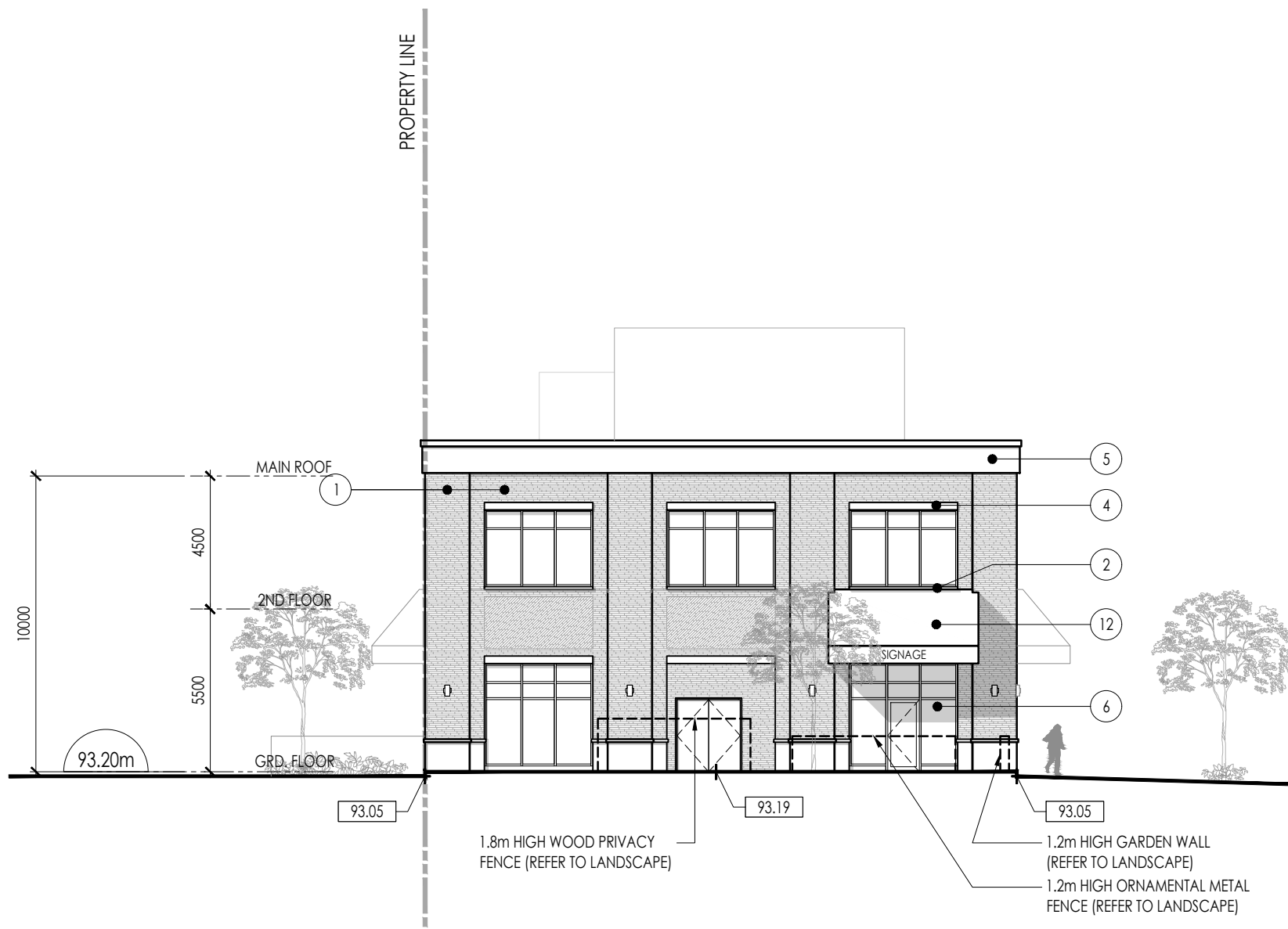
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**4 NORTH ELEVATION**  
A402 SCALE: 1:200 REFERENCE DWG.



**2 WEST ELEVATION**  
A402 SCALE: 1:200 REFERENCE DWG.



**3 SOUTH ELEVATION**  
A402 SCALE: 1:200 REFERENCE DWG.



**1 EAST ELEVATION**  
A402 SCALE: 1:200 REFERENCE DWG.

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**1544 & 1546  
FOUR MILE CREEK RD  
RESIDENTIAL DEVELOPMENT**

FOUR MILE CREEK NIGARA-ON-THE-LAKE, ONTARIO

Drawing title

**BUILDING ELEVATIONS  
COMMERCIAL**

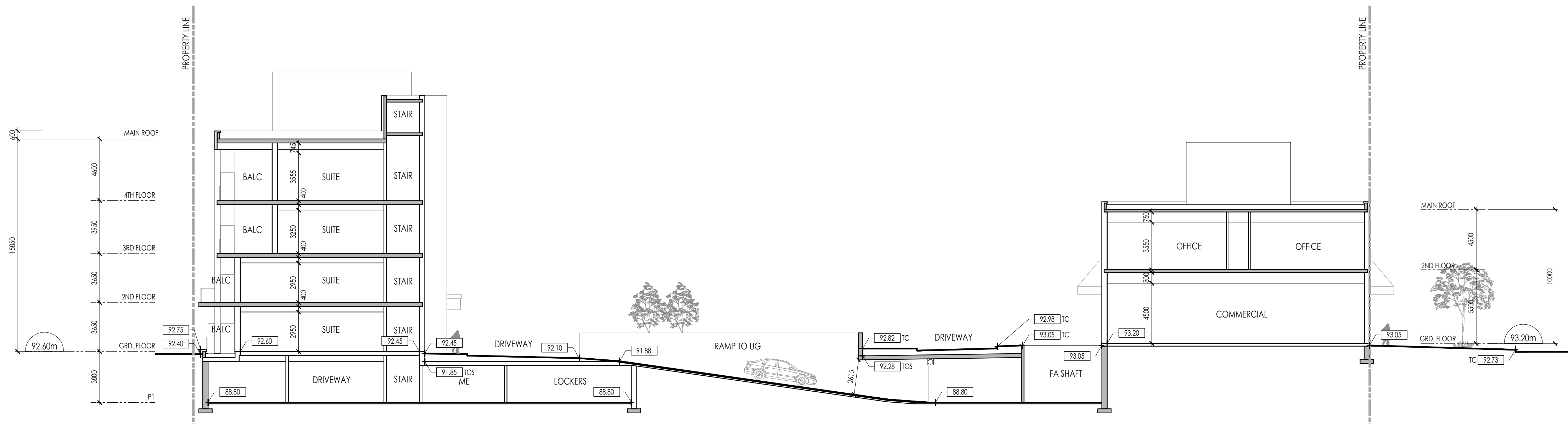
Date MARCH, 2025 Drawn By PL/YL

Scale 1:200 Reviewed By AB

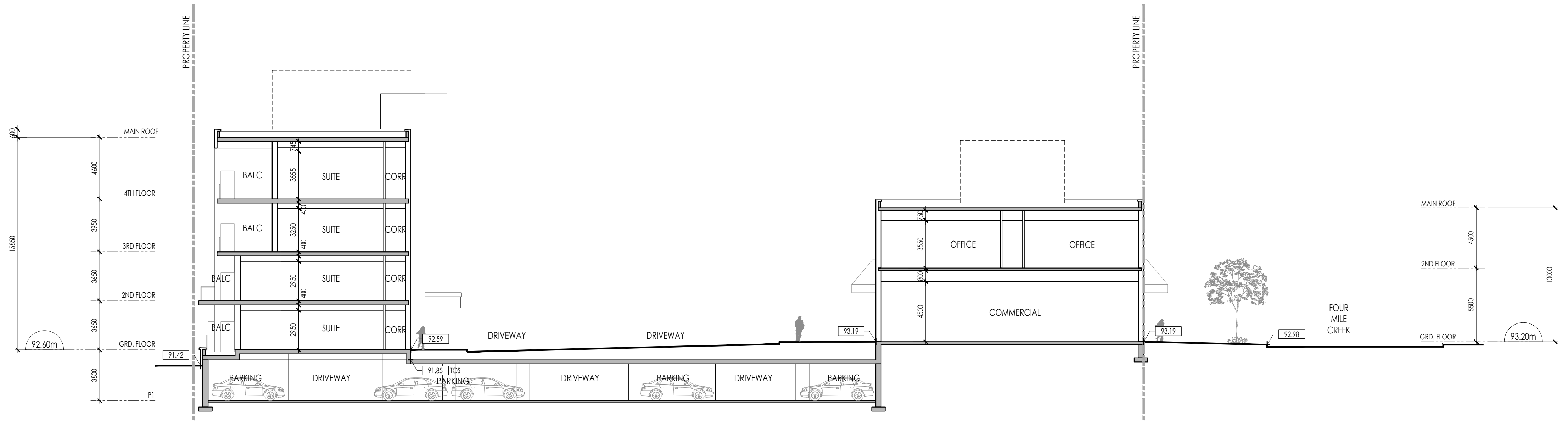
Project No. 23.11 Drawing No.

Plot Date April 10, 2025

**A402**



2 BUILDING SECTION  
A501 SCALE: 1:200 REFERENCE DWG.



1 BUILDING SECTION  
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1544 & 1546  
FOUR MILE CREEK RD  
RESIDENTIAL DEVELOPMENT

FOUR MILE CREEK NIGARA-ON-THE-LAKE, ONTARIO  
Drawing title  
BUILDING SECTIONS

Date	MARCH, 2025	Drawn By	PL/YL
Scale	1:200	Reviewed By	AB
Project No.	23.11	Drawing No.	A501
Plot Date	April 10, 2025		