

APPENDIX E:

Municipal Heritage Committee Meeting Minutes, dated June 10, 2019



MUNICIPAL HERITAGE COMMITTEE MEETING MINUTES

Tuesday May 14, 2019

06:00 PM

PRESENT:

Janice Johnston (Chair), Amanda Demers, Councillor Clare Cameron, Councillor Al Bisback, Members: Drew Chapman, Rita Trudeau, Ron Dale, David Parker

REGRETS:

Philip Hoad

STAFF:

Denise Horne

Planner II

Tara Druzina

Administrative Assistant, Community & Development Services

OTHERS:

1. Call to Order

The Chair called the meeting to order at 7:00 p.m.

2. Adoption of Agenda

Moved by David Parker that the agenda be amended to include the Communities in Bloom Committee's request regarding Utility Box Beautification Program (Hydro), under New Business.

APPROVED AS AMENDED.

3. Conflict of Interest

Drew Chapman declared a conflict of interest with MHC-19-016 - Heritage Permit Application - 142 Queen Street - Replacement Ground Sign MHC-19-017 - Heritage Permit Application and 142 Queen Street - Installation of Water Feature, as his wife owns a tourist accommodation.

4. Previous Minutes

The Minutes from the April 9, 2019 Committee meeting were received.

5. Presentations

There were none.

6. Announcements

There were none.

7. Correspondence

7.1 On-going Project Status Update

Denise Horne, Planner II, updated the Committee on the on-going project status list.

General discussion ensued.

7.2 Committees and Conflict of Interest - Legal Opinion written by John Mascairn from Aird & Berlis LLP and forwarded by Peter Todd, Town Clerk

The Committee was in receipt of the legal opinion of John Mascairn from Aird & Berlis LLP regarding Committees and Conflict of Interest as forwarded by the Town Clerk, Peter Todd.

Members were encouraged to read the letter and ask the Town Clerk for clarification if necessary.

8. Business

8.1 MHC-19-015 - Heritage Permit Application - 15284 Niagara River Parkway, Field House - Replace exterior wood details

Katie Houghton, was in attendance for the application. An overview of the application was received.

General discussion ensued.

Moved by Drew Chapman that the recommendations contained in MHC-19-015 - 15284 Niagara River Parkway - Heritage Permit Application - Replace exterior wood details be approved as follows:

- 1.1 The Heritage Permit Application to replace the wood cornice soffit and frieze board where necessary, with a new soffit, fascia and frieze board, to match exactly in dimension, detail and material at 15284 Niagara River Parkway, the Field House, be approved.
- 1.2 Prior to alterations being undertaken on the property, the applicant be required to

obtain the necessary approval from the Ontario Heritage Trust for any alterations to the property at 15284 Niagara River Parkway to the satisfaction of the Director of Community and Development Services.

APPROVED.

8.2 MHC-19-016 - Heritage Permit Application - 142 Queen Street - Replacement Ground Sign

Drew Chapman previously declared a conflict of interest MHC-19-016 - Heritage Permit Application - 142 Queen Street - Replacement Ground Sign as his wife owns a tourist accommodation.

David Jones was in attendance for the application. An overview of the application was received.

General discussion ensued.

Moved by Ron Dale that the recommendations contained in MHC-19-016 - Heritage Permit Application - 142 Queen Street - Replacement Ground Sign be approved as follows:

- 1.1 The Heritage Permit Application to install a replacement wood ground sign at 142 Queen Street be approved, subject to the following conditions:
 - a) the proponent be required to obtain a Sign Permit for the proposed sign; and
 - b) The proposed sign have a matte finish with no backlighting or neon lighting.
- 1.2 That the conditions in Recommendation 1.1 be cleared to the satisfaction of the Director of Community and Development Services.

APPROVED.

8.3 MHC-19-017 - Heritage Permit Application - 142 Queen Street - Installation of Water Feature

Drew Chapman previously declared a conflict of interest MHC-19-017 - Heritage Permit Application - 142 Queen Street - Installation of Water Feature as his wife owns a tourist accommodation.

David Jones was in attendance for the application. An overview of the application was received.

General discussion ensued.

Moved by Rita Trudeau that the recommendations contained in MHC-19-017 - Heritage Permit Application - 142 Queen Street - Installation of Water Feature be amended as follows:

- 1.1 *The Heritage Permit application for the installation of a water feature at 142 Queen Street be refused. - DELETED*
- 1.2 *That the Heritage Permit Application for the water feature be approved in principle.*
- 1.3 *That the design of the water feature be reviewed by Committee members via e-mail and that the design be finalized to the satisfaction of the Director of Community and Development Services.*

APPROVED AS AMENDED.

8.4 MHC-19-018 - 325 King Street - Cultural Heritage Evaluation Report & Additional 20th Century History

Bryce Murray, from Heelis, Little and Almas LLP, was in attendance for the application.

General discussion ensued regarding the Report.

Moved by Councillor Clare Cameron that the recommendations contained in MHC-19-018 - 325 King Street - Cultural Heritage Evaluation Report & Additional 20th Century History be amended as follows:

- 1.1 The Municipal Heritage Committee provide advice to Council based on the Cultural Heritage Evaluation Report submitted by Letourneau Heritage Consulting Inc. (November, 2018) and the Heritage Impact Assessment submitted by Megan Hobson (30 Oct 2018) for the property at 325 King Street (Parliament Oak School).
- 1.2 That the Committee forward the following comments to Council:
 - 1.2.1 Support for the CHER and HIA reports and the research conducted by the heritage consultants and Town Historian.
 - 1.2.2 Support for the preservation of heritage attributes on the property including the two carved stone bas-relief panels commemorating the session of Parliament, the stone marker commemorating the historic oak tree, the statuary for the Underground Railroad which could be moved to Voices of Freedom Park or another suitable location, the time capsule in the building's cornerstone which could be salvaged and donated to the NHS and Museum, and possibly the third stone carving featuring an oak tree.
 - 1.2.3 There is no interest in pursuing Part IV designation under the Ontario Heritage Act at this time.
 - 1.2.4 The MHC would like the opportunity to participate in a design charette in cooperation with the property owner at a future date concerning the possible conservation of the 1947 facade of the building.
 - 1.2.5 That the original facade and front portion of the 1947 building be conserved for preservation and/or re-purpose and/or reuse in any new development.

APPROVED AS AMENDED.

8.5 MHC-19-019 - Memorandum - 289, 293 & 297 Ricardo Street - Compliance with Development Agreement

An overview of the application was received by Denise Horne, Planner II.

Nancy Ross, from 297 Ricardo Street, was in attendance to address member's questions regarding the matter.

General discussion ensued.

Moved by Councillor Clare Cameron that the recommendations contained in MHC-19-019 - Memorandum - 289, 293 & 297 Ricardo Street - Compliance with Development Agreement be amended as follows:

- 1.1 The Municipal Heritage Committee receive this memorandum as information.
- 1.2 *The Municipal Heritage Committee determine whether to advise Council to direct staff to follow up on matters related to reinstating the missing stone pillars in front of 297 Ricardo street, and to amend Designating By-law 4234-08 to include only the street frontage with stone pillars at 293 and 297 Ricardo Street. - DELETE*
- 1.3 *That staff report back to the Municipal Heritage Committee with additional information on the as-built and existing landscaping, fencing, building and signage at 293 Ricardo Street, from the perspective of compliance with same development and any applicable heritage permits.*

APPROVED AS AMENDED.

8.6 MHC-19-020 - Memorandum - Bill 108 - More Homes, More Choices Act, 2019

Denise Horne, Planner II, presented the memorandum and details of such. The purpose of the memorandum is to inform the Municipal Heritage Committee (MHC) of proposed changes to the Ontario Heritage Act. The Act has not been substantially changed in nearly 15 years.

General discussion ensued. It was noted that comments can be made to the Province regarding the proposed Bill before June 1, 2019. It was requested that such comments be forwarded to Denise Horne for collective submission as soon as possible.

9. New Business

9.1 Utility Box Beautification Program (Hydro) - Communities in Bloom Community Request

Denise Horne, Planner II, described the Committee's intent to wrap the boxes in

artwork, pictures and signs.

Denise noted that a staff report regarding the matter will be forthcoming.

10. Next Meeting Date

June 11, 2019 at 7:00 p.m.

11. Adjournment

Moved by Councillor Clare Cameron that the meeting be adjourned at 9:15.

APPROVED.

ADJOURNMENT: 09:15 PM

ERA

Appendix B Concept Plans



KEY MAP:



OWNER'S NAME _____

OWNER'S SIGNATURE _____



Town of
Niagara-on-the-Lake

LORD MAYOR _____

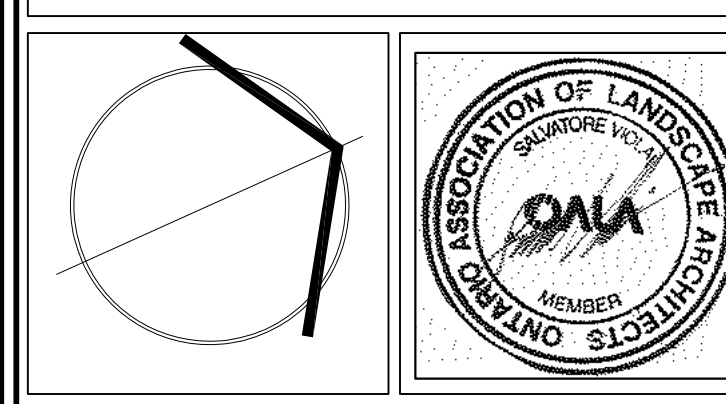
TOWN CLERK _____

DATE _____

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1	2023-01-16	CONCEPT FOR REVIEW	S.V.

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 LANDSCAPE ARCHITECTURE

PROJECT: **THE INN AT PARLIAMENT OAK**
 325 KING STREET
 NIAGARA-ON-THE-LAKE, ONTARIO

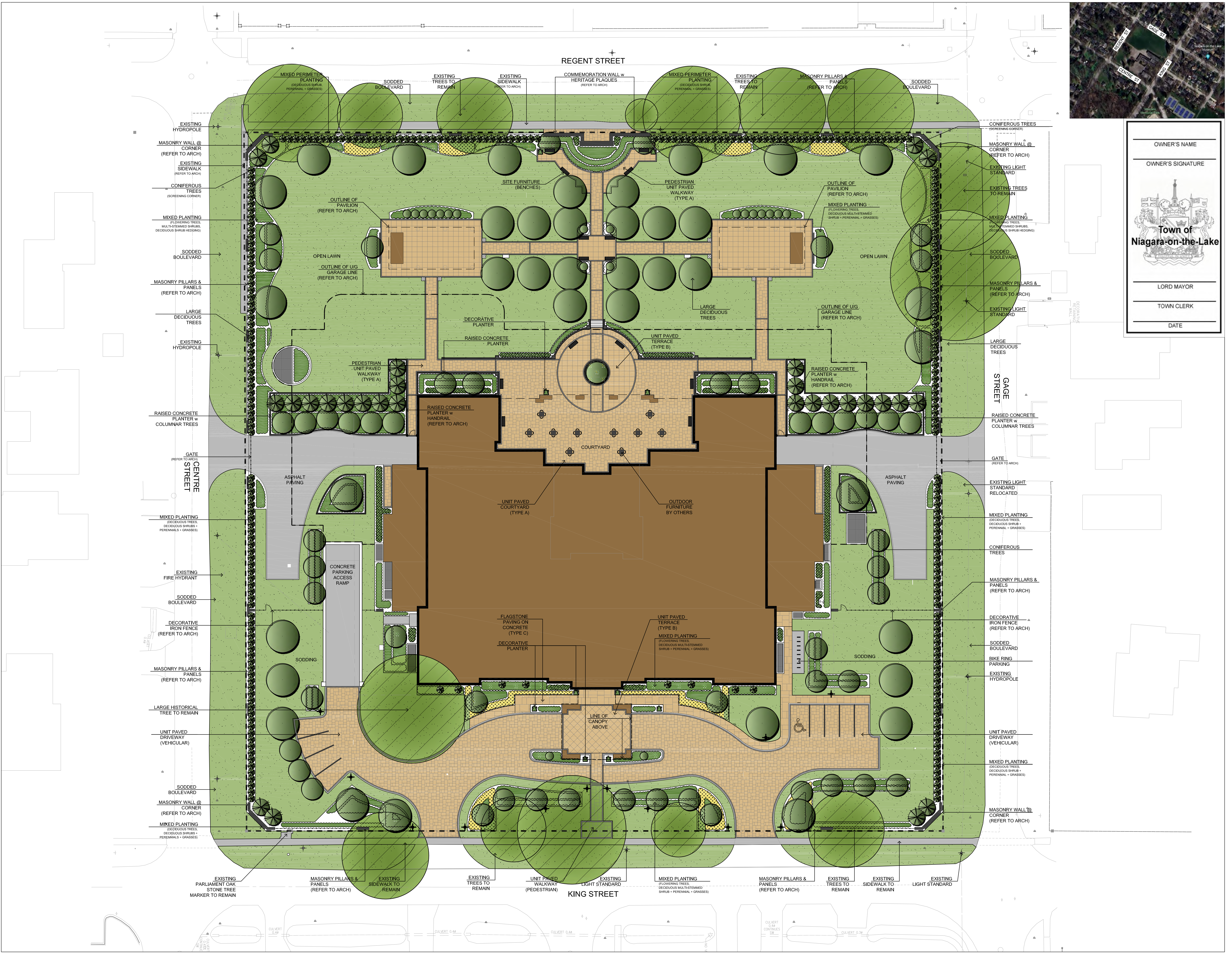
DRAWING TITLE: **LANDSCAPE MASTERPLAN**

SCALE: 1:250 PROJECT No. 5871

DATE: JANUARY, 2023

DRAWN BY: J.M. DRAWING No. L100

CHECKED BY: S.V.





OWNER'S NAME _____

OWNER'S SIGNATURE _____



LORD MAYOR _____

TOWN CLERK _____

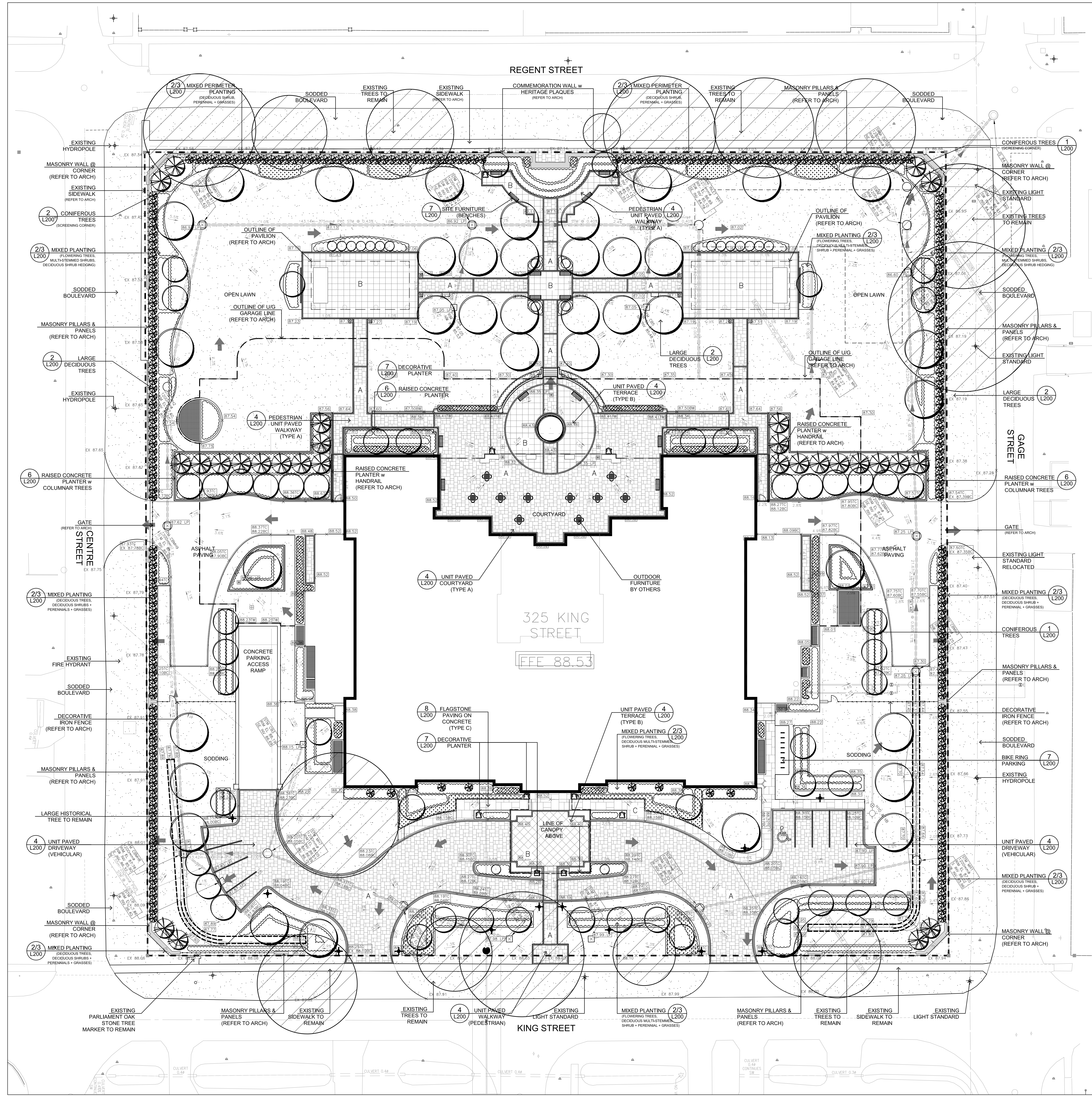
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GENERAL NOTES:

TOPSOIL:

- USE EVENLY MIXED TOPSOIL OF FERTILE, FRABLE NATURAL LOAM CONTAINING NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% MINIMUM ORGANIC MATTER FOR SAND LOAMS WITH AN ACTIVITY RANGE OF 8.5 TO 7.5 pH. ALL TOPSOIL SHOULD BE FREE OF SUBSOLS, CLAY, STONES, ROOTS, EXCESS WATER, FROST AND OTHER UNDESIRABLE MATTER.

PLANTING: (UNLESS OTHERWISE SPECIFIED)

- PREPARE PLANTING SOIL BY EVENLY MIXING FOUR PARTS SANDY TOPSOIL, ONE PART ORGANIC SOIL ADDITIVE WITH 500g BONE MEAL AND 750g COMMERCIAL FERTILIZER PER CUBIC METER. THE FOREGOING RATES ARE SUBJECT TO ADJUSTMENT ON RECEIPT OF TOPSOIL ANALYSIS REPORT.
- EXCAVATE AND PROVIDE PLANTING SOILS AS PER PLANTING DETAILS.
- PROVIDE ALL SHRUBS AND TREES ACCORDING TO THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADE ASSOCIATION WITH REGARD TO QUALITY AND GRADING AND SIZED AS PER PLANT LIST.
- SPRAY ALL PLANTINGS IN LEAF WITH STAKES, ANTIDESICCANT, PROVIDE TREES WITH STAKES, PEST AND DISEASE CONTROL, AND BRANCH AND ROOT PRUNING.
- TREES ARE TO HAVE STURDY, STRAIGHT TRUNKS.
- TREES SHALL BE WELL BRANCHED AND BALANCED WITH A STRONG CENTRAL LEADER.
- DECIDUOUS SHADE TREES SHALL BE FREE OF BRANCHES NOT LESS THAN 1.8m ABOVE THE GROUND.
- ALL SHRUBS ARE TO BE PLANTED IN CONTINUOUS BEDS.
- DO NOT SOD BETWEEN PLANTS. EXCAVATE ENTIRE AREA OF SHRUB BED UNIFORMLY TO SPECIFIED DEPTH AND FILL WITH SPECIFIED PLANTING SOIL.

NOTE: ALL PLANT MATERIAL TO BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND CITY AUTHORITIES.

UTILITIES:

- APPLICANT IS RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS FROM THE UTILITY COMPANIES FOR WORK WITHIN THE MUNICIPAL BOUNDARY.
- ALL UTILITIES WITHIN THE BOULEVARDS MUST BE LOCATED PRIOR TO COMMENCING CONSTRUCTION WITHIN THE BOULEVARD.

SODDING:

- PREPARE A MINIMUM 100mm DEPTH OF TOPSOIL WITH 10-14% COMMERCIAL FERTILIZER AT 7.3kg/100sq.m. AND SUPER PHOSPHATE AT 3kg/100sq.m. THE PROPORTIONS SPECIFIED ARE SUBJECT TO ADJUSTMENT DEPENDING ON TOPSOIL ANALYSIS REPORT.
- BEFORE THIS STAKE OUT, THE CONTRACTOR IS TO REQUEST A STAKE OUT ALL UNDERGROUND SERVICES.
- THE LANDSCAPE ARCHITECT AND THE MUNICIPALITY MAY, AT THEIR DISCRETION REDISTRIBUTE TREE LOCATIONS PRIOR TO PLANTING, IN ORDER TO MINIMIZE CONFLICTS WITH UTILITIES, DRIVEWAYS AND INTERSECTION VISIBILITY.

MAINTENANCE & ACCEPTANCE:

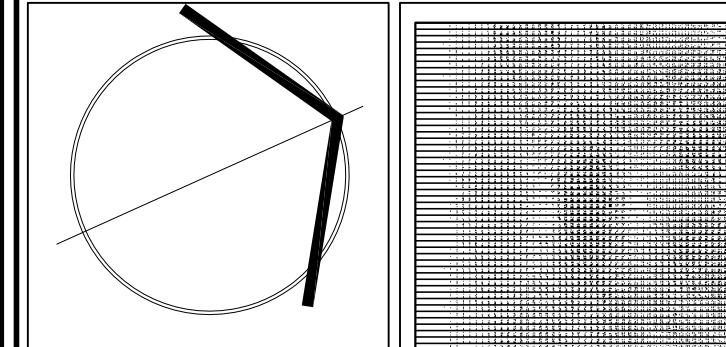
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IMMEDIATELY AFTER ANY PLANTING HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF FINAL ACCEPTANCE.
- SUCH MAINTENANCE SHALL INCLUDE ALL MEASURES NECESSARY TO ESTABLISH AND MAINTAIN ALL PLANTS IN AN ACCEPTABLE, VIGOROUS AND HEALTHY GROWING CONDITION INCLUDING CULTIVATING AND WEEDING, WATERING WHEN REQUIRED, PRUNING AND MAINTENANCE OF ALL ACCESSORIES.
- AT TIME OF INSPECTION FOR INITIAL & FINAL ACCEPTANCE, ALL PLANTING BEDS AND TREE PITS SHALL BE FRESHLY CULTIVATED, FREE OF WEEDS, LEAVES, BROKEN BRANCHES AND RUBBISH AND SHALL BE IN A NEAT AND TIDY CONDITION.
- ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF 2 (TWO) YEARS FROM THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND LOCAL AUTHORITY UNLESS OTHERWISE NOTED.
- MAINTAIN PLANTING BEDS AND TREE PITS FREE OF WEEDS THROUGHOUT THE GUARANTEE PERIOD.
- THE DEVELOPER SHALL REGULARLY REMOVE DEBRIS FROM THE WEILAND UNTIL THE COMPLETION OF ALL BUILDING CONSTRUCTION WITHIN THE DEVELOPMENT.

RODENT PROTECTION:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FROM RODENT INJURY FOR THE DURATION OF THE GUARANTEE PERIOD.
- PROTECTIVE WIRE MESH GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF MULCH AND SHOULD BE PLACED A MINIMUM OF 50mm OUT FROM THE TREE TRUNK ON ALL SIDES. SUFFICIENT MESH SHOULD BE CUT TO COMPLETE THIS CIRCUMFERENCE AS WELL AS TO PROVIDE A MINIMUM OF 25mm OVERLAP.
- THE WIRE MESH GUARDS MUST BE OF GALVANIZED STEEL 12mm SQUARE MESH, 19 GAUGE AND SUPPLIED IN 600mm ROLLS. THE WIRE MESH CAN BE FASTENED WITH ANY ACCEPTABLE GALVANIZED WIRE TIE. ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOT" OR APPROVED EQUIVALENT RODENT FORMULA TO BE APPLIED AT THE END OF OCTOBER, FOLLOWING MANUFACTURER'S DIRECTIONS FOR APPLICATION.

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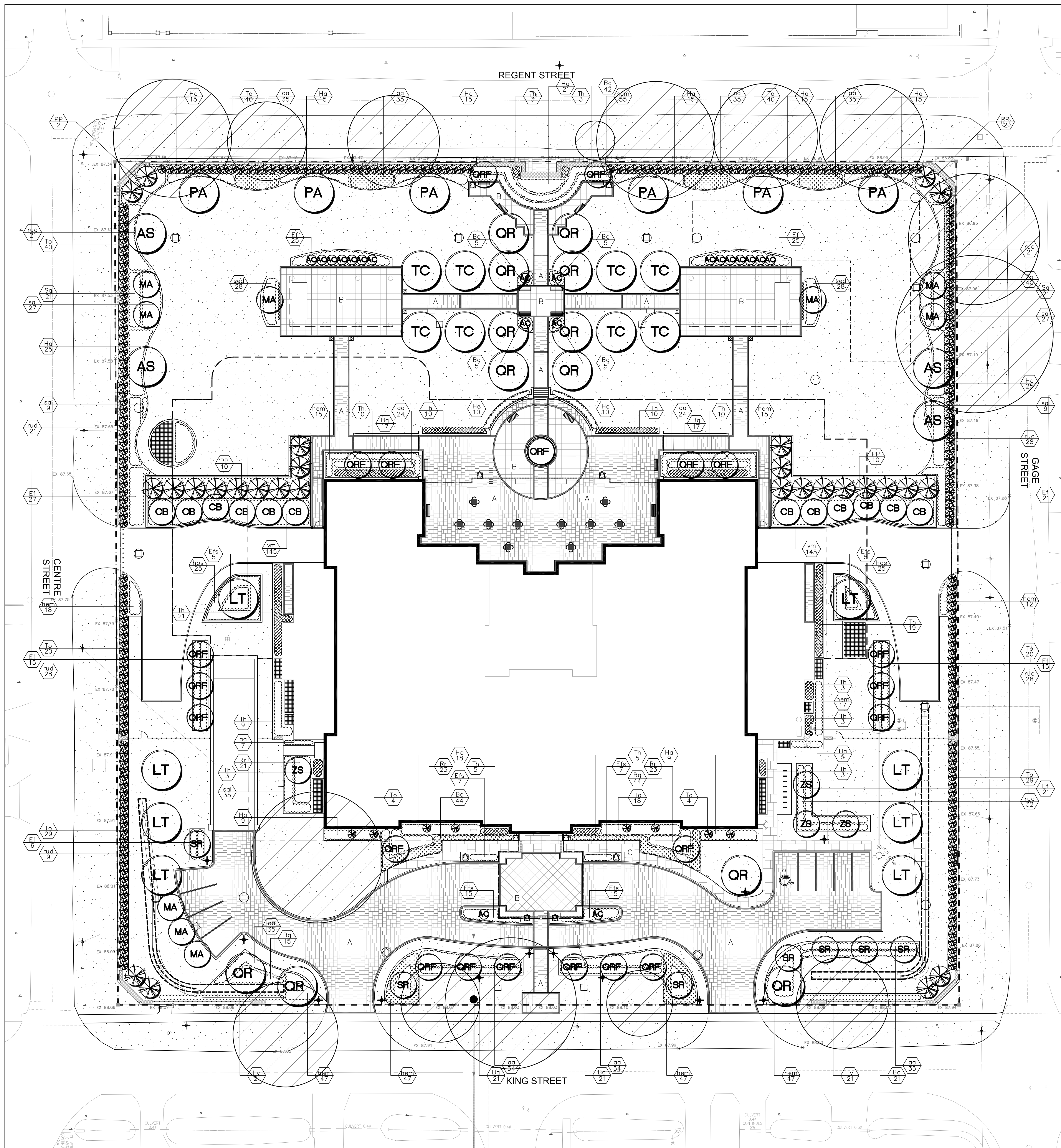
PROJECT:

THE INN
AT PARLIAMENT OAK
 325 KING STREET
 NIAGARA-ON-THE-LAKE, ONTARIO

DRAWING TITLE:


HARD
LANDSCAPE
PLAN

SCALE:	1:250	PROJECT No.	
DATE:	JANUARY, 2023		5871
DRAWN BY:	J.M.	DRAWING No.	
CHECKED BY:	S.V.		L101



KEY MAP:



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 OWNER'S SIGNATURE _____

 LORD MAYOR _____
 TOWN CLERK _____
 DATE _____

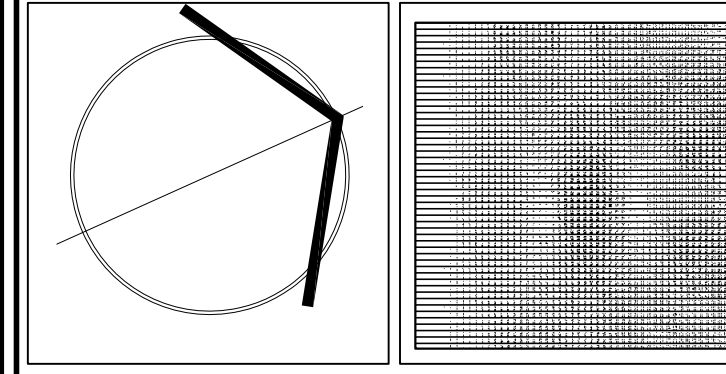
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KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CAL.	SPACING	COND.	REMARKS	ON	FS	PS	SH	SILT	DT
DECIDUOUS TREES															
AS	4	Acer saccharum	Sugar Maple	4000	2000	70	as shown	SB	FULL FORM	✓					
LT	9	Liriodendron tulipifera	Tulip Tree	4000	2000	70	as shown	SB	FULL FORM	✓					
PA	6	Platanus x acerifolia	Platanus	4000	2000	70	as shown	SB	FULL FORM	✓					
OR	13	Quercus rubra	Red Oak	4000	2000	70	as shown	SB	FULL FORM	✓					
ORF	21	Quercus robur 'Fastigiata'	Pyramidal English Oak	4000	2000	50	as shown	SB	FULL FORM	✓					
CB	12	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	4000	2000	50	as shown	SB	FULL FORM	✓					
CC	2	Cercis canadensis	Eastern Redbud	4000	2000	50	as shown	SB	FULL FORM	✓					
SR	7	Syringa reticulata	Ivory Silk Lilac	4000	2000	50	as shown	SB	FULL FORM	✓					
ZS	4	Zelkova serrata 'Green Vase'	Green Vase Zelkova	4000	2000	50	as shown	SB	FULL FORM	✓					
MA	9	Magnolia stellata 'Royal Star'	Royal Star Magnolia	4000	2000	50	as shown	SB	FULL FORM	✓					
TC	8	Tilia cordata	Littleleaf Linden	4000	2000	70	as shown	SB	FULL FORM	✓					
AC	20	Amelanchier canadensis	Serviceberry	1500	-	-	as shown	SB	FULL FORM	✓					
CONIFEROUS TREES															
PP	266	Thuja occidentalis	White Spruce	1800	-	-	750	CG	FULL FORM	✓					
PP	24	Picea pungens	Colorado Spruce	1800	-	-	750	CG	FULL FORM	✓					
SHRUBS															
Bg	262	Buxus x 'Green Mountain'	Green Mountain Boxwood	600	-	-	750	CG	FULL FORM	✓					
Ef	155	Euonymus fortunei 'Sungaut'	Sungaut Euonymus	600	-	-	750	CG	FULL FORM	✓					
Ha	240	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	600	-	-	750	CG	FULL FORM	✓					
Lv	42	Ligustrum x vicaryi	Golden Privet	600	-	-	750	CG	FULL FORM	✓					
Th	117	Taxus x media 'Hickii'	Hick's Yew	600	-	-	750	CG	FULL FORM	✓					
Efs	54	Euonymus fortunei 'Sarcocoe'	Sarcocoe Euonymus	600	-	-	750	CG	FULL FORM	✓					
Sg	42	Spirea Goldflame x Burmald	Goldflame Spirea	600	-	-	750	CG	FULL FORM	✓					
Rr	67	Rosa rugosa	Rugosa Rose	600	-	-	750	CG	FULL FORM	✓					
PERENNIALS															
sal	107	Salvia nemorosa 'Snow Hill'	Snow Hill Salvia	1000				potted		✓					
sed	56	Scakun spectabilis 'Brilliant'	Brilliant Showy Stonecrop	1000				potted		✓					
rud	188	Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1000				potted		✓					
oa	373	Asclepias ornata 'Bridal Veil'	Bridal Veil False Spirea	1000				potted		✓					
vm	200	Vincetoxicum	Periwinkle	1000				potted		✓					
hos	50	Hosta 'Royal Standard'	Royal Standard Hosta	1000				potted		✓					
hem	320	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1000				potted		✓					

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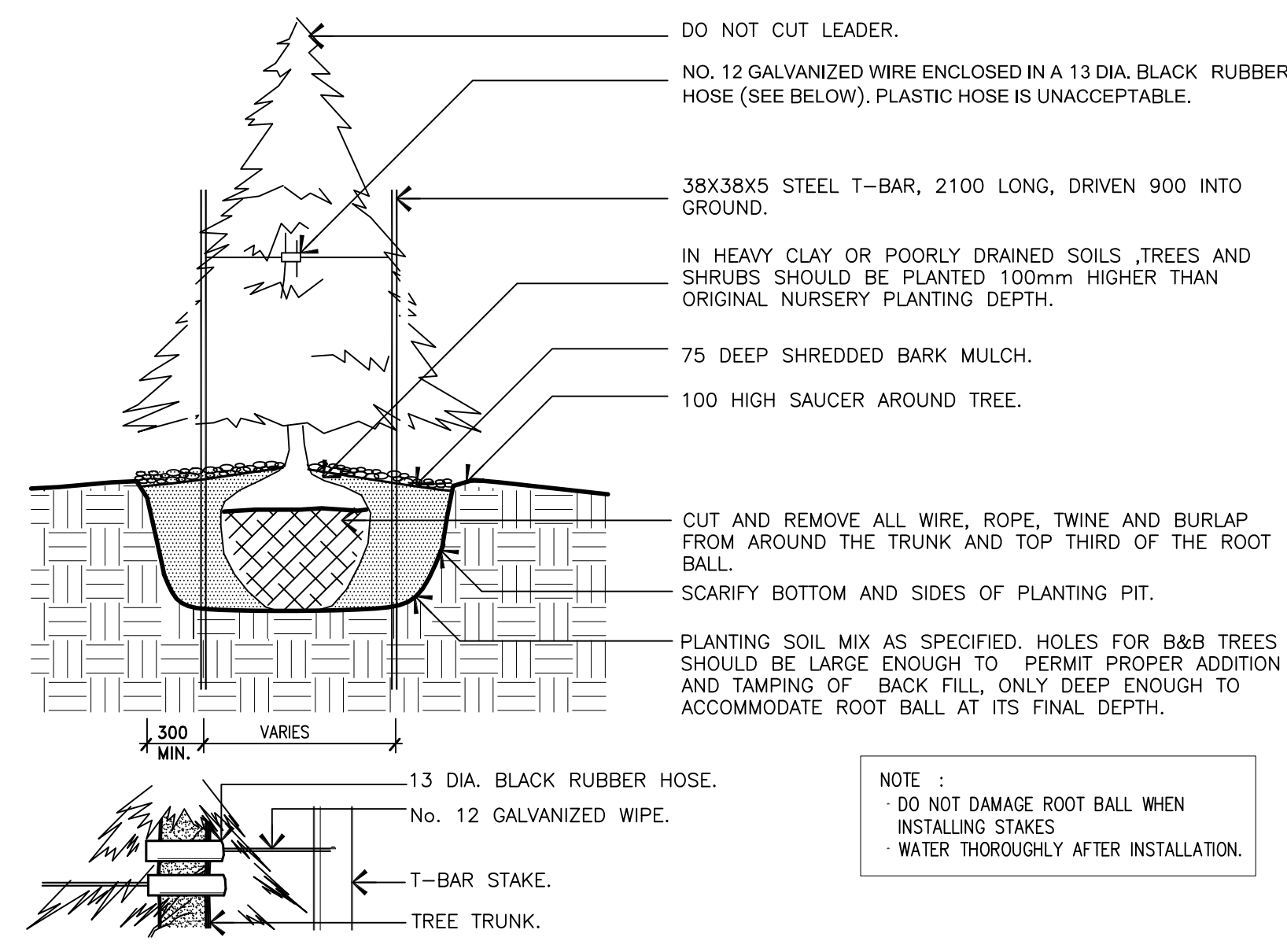
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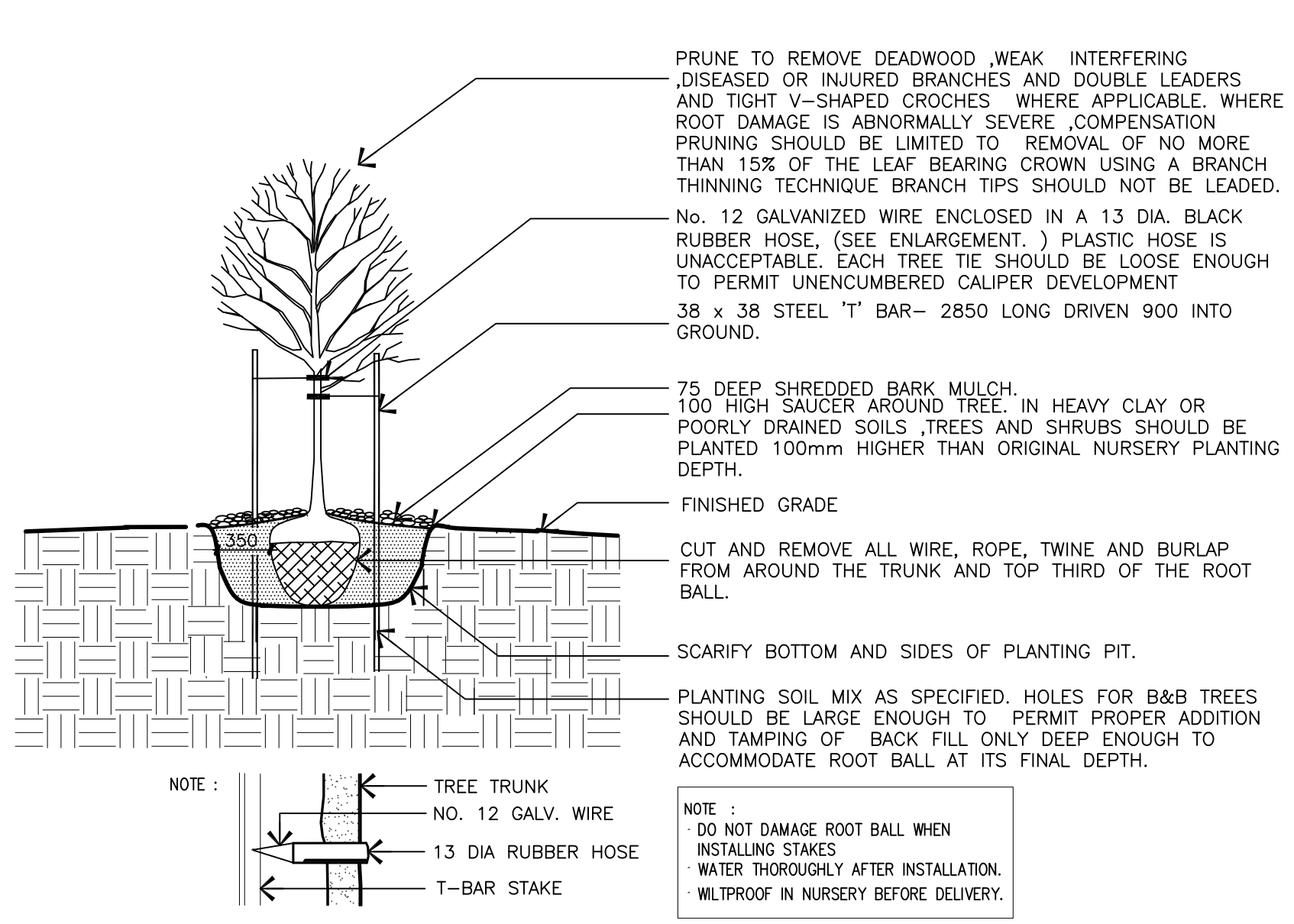
PROJECT:
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DRAWING TITLE:
LANDSCAPE PLANTING PLAN

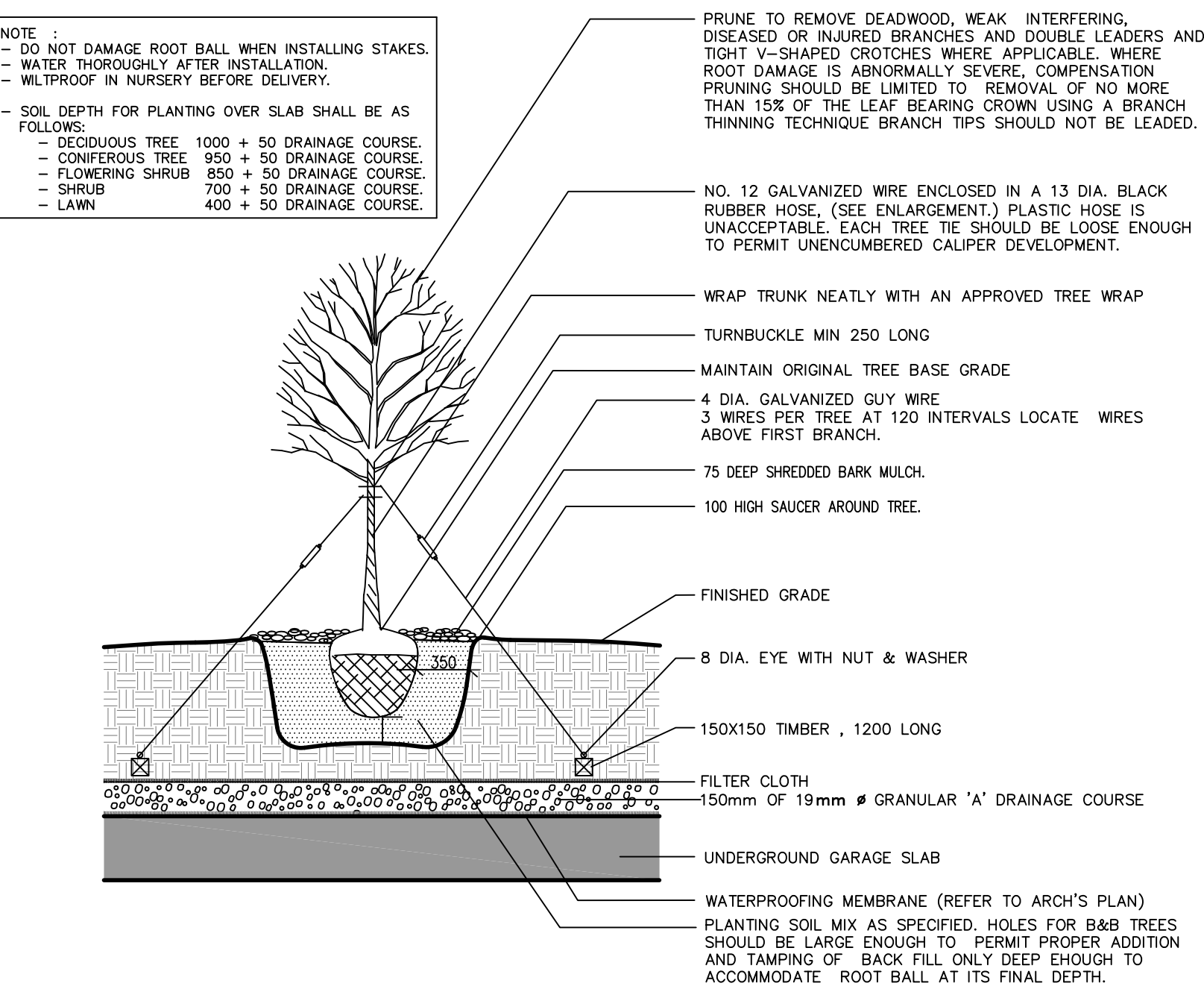
SCALE: 1:250 PROJECT No. 5871
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 DRAWN BY: J.M. DRAWING No. L102
 CHECKED BY: S.V.



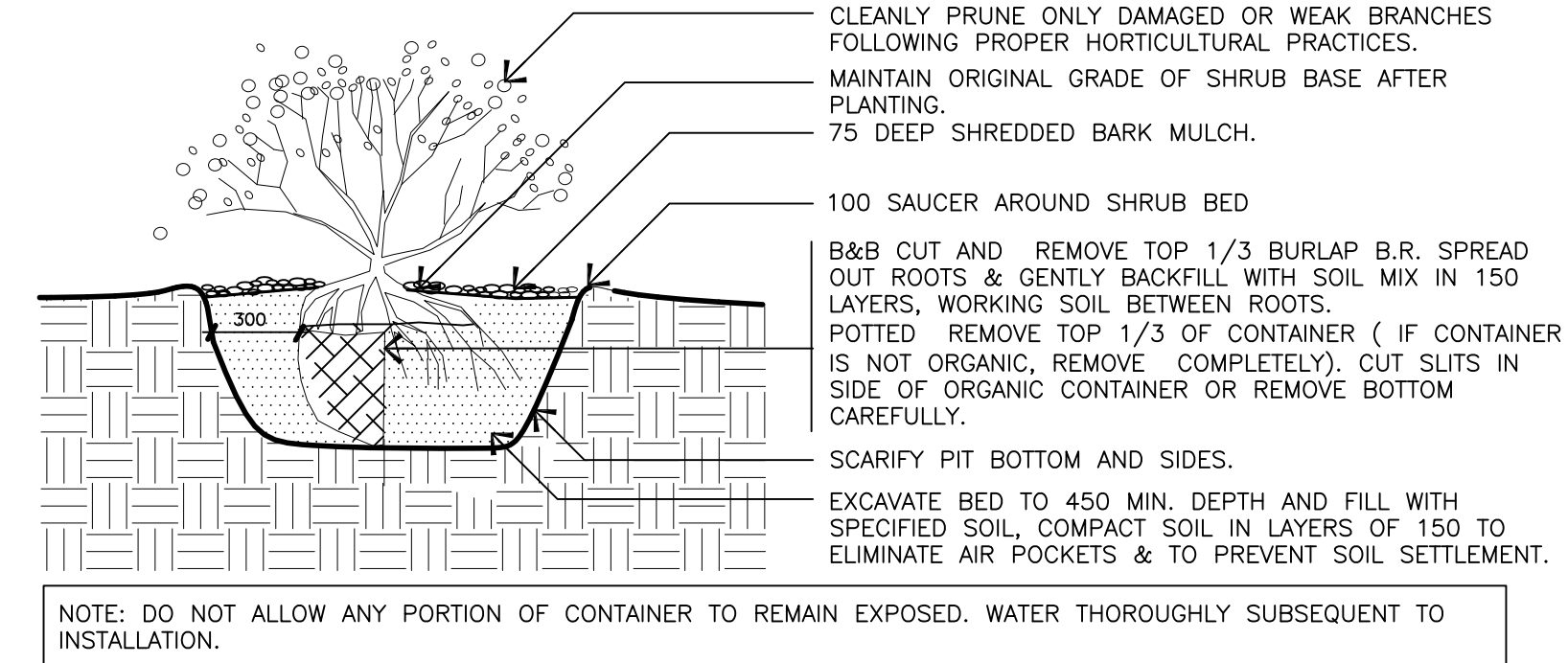
1 L200 CONIFEROUS TREE PLANTING DETAIL N.T.S.



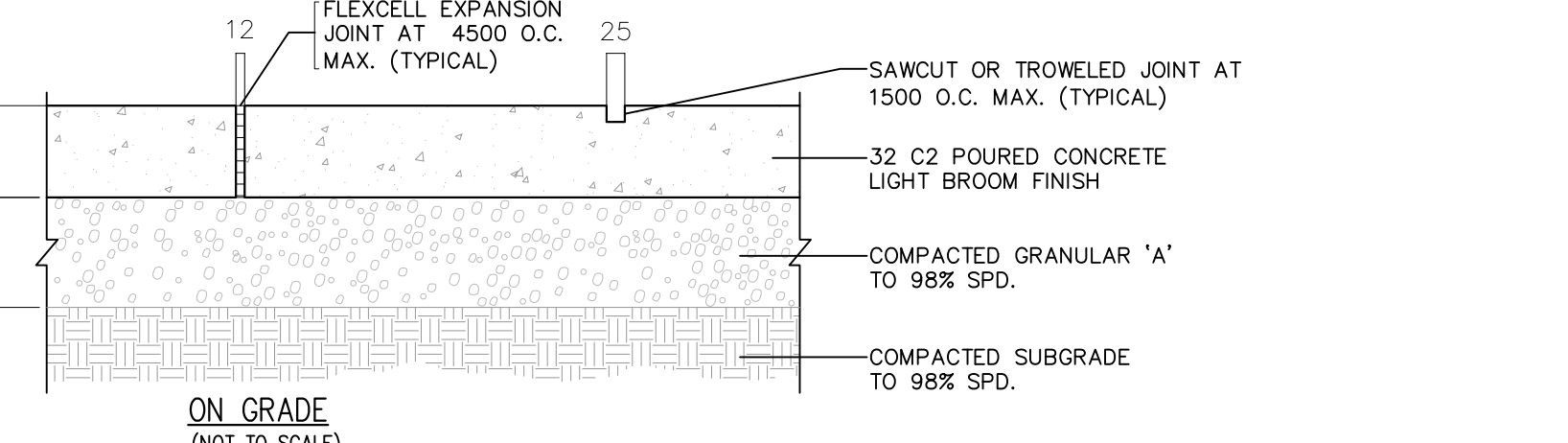
2 L200 DECIDUOUS TREE PLANTING FOR TREES LESS THAN 80 mm CALIPER N.T.S.



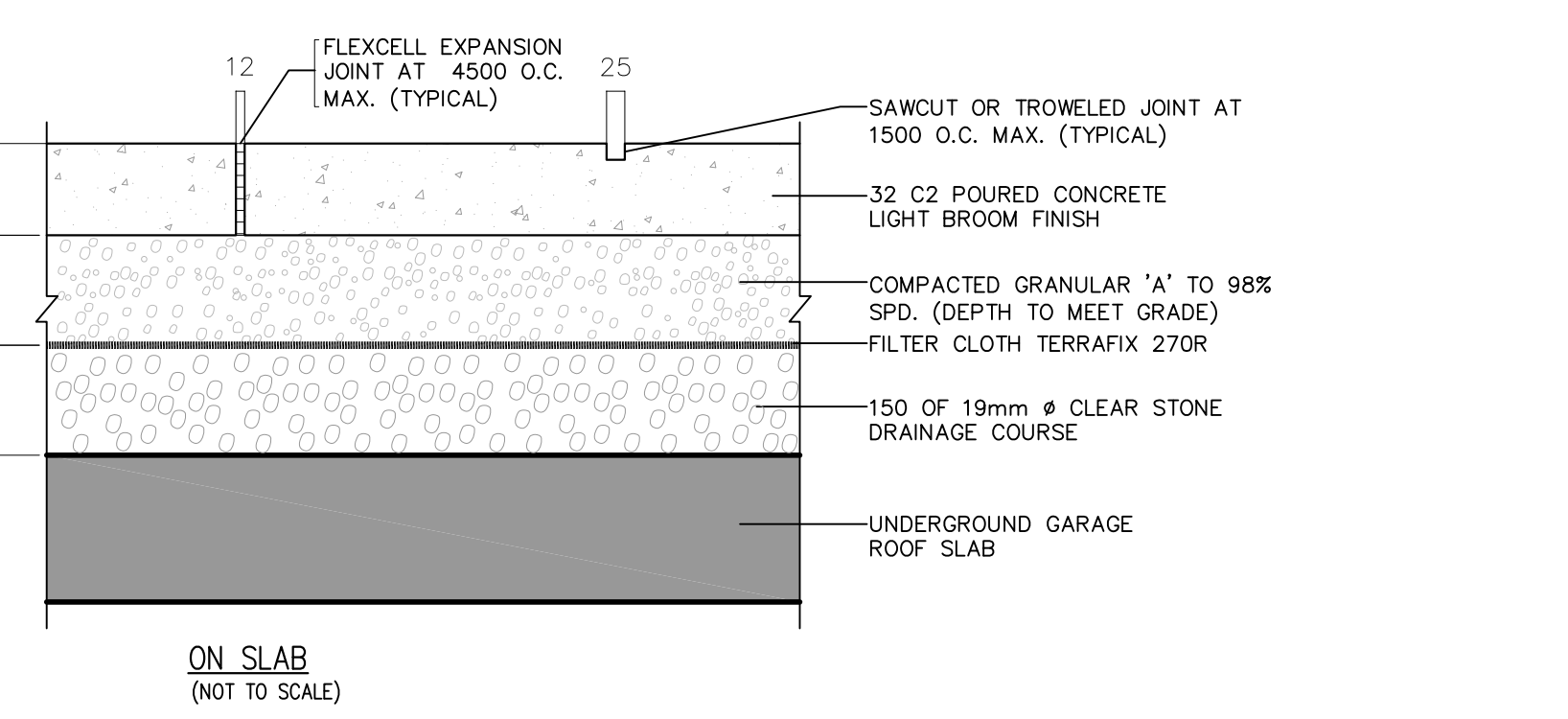
3 L200 DECIDUOUS TREE PLANTING ON SLAB N.T.S.



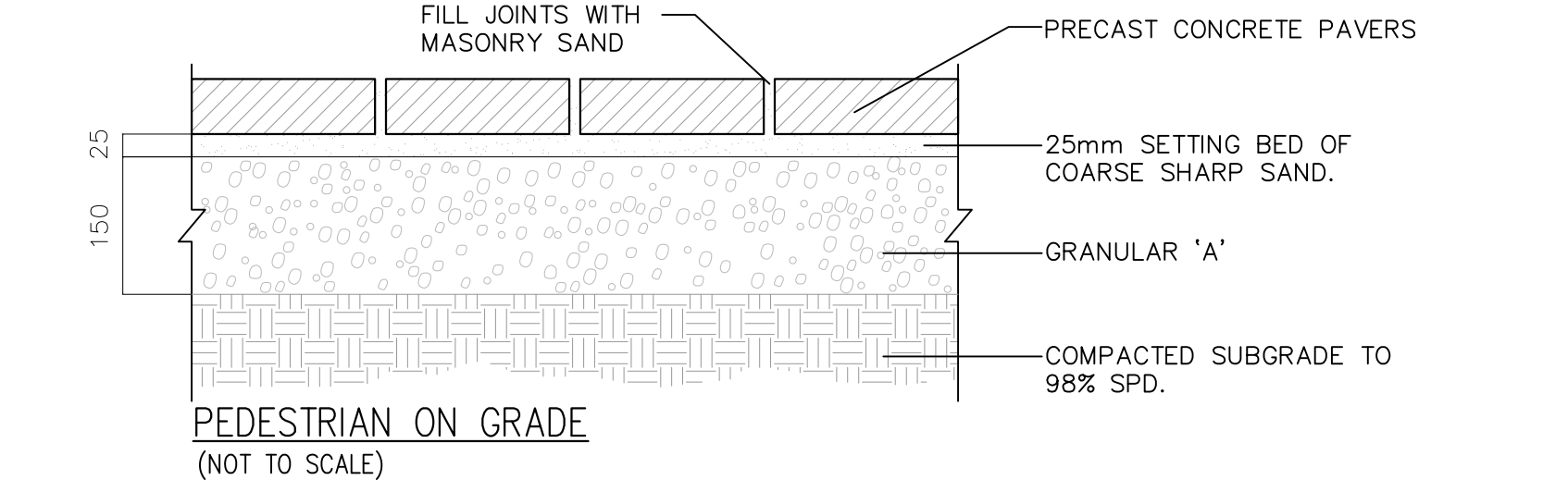
4 L200 SHRUB PLANTING DETAIL N.T.S.



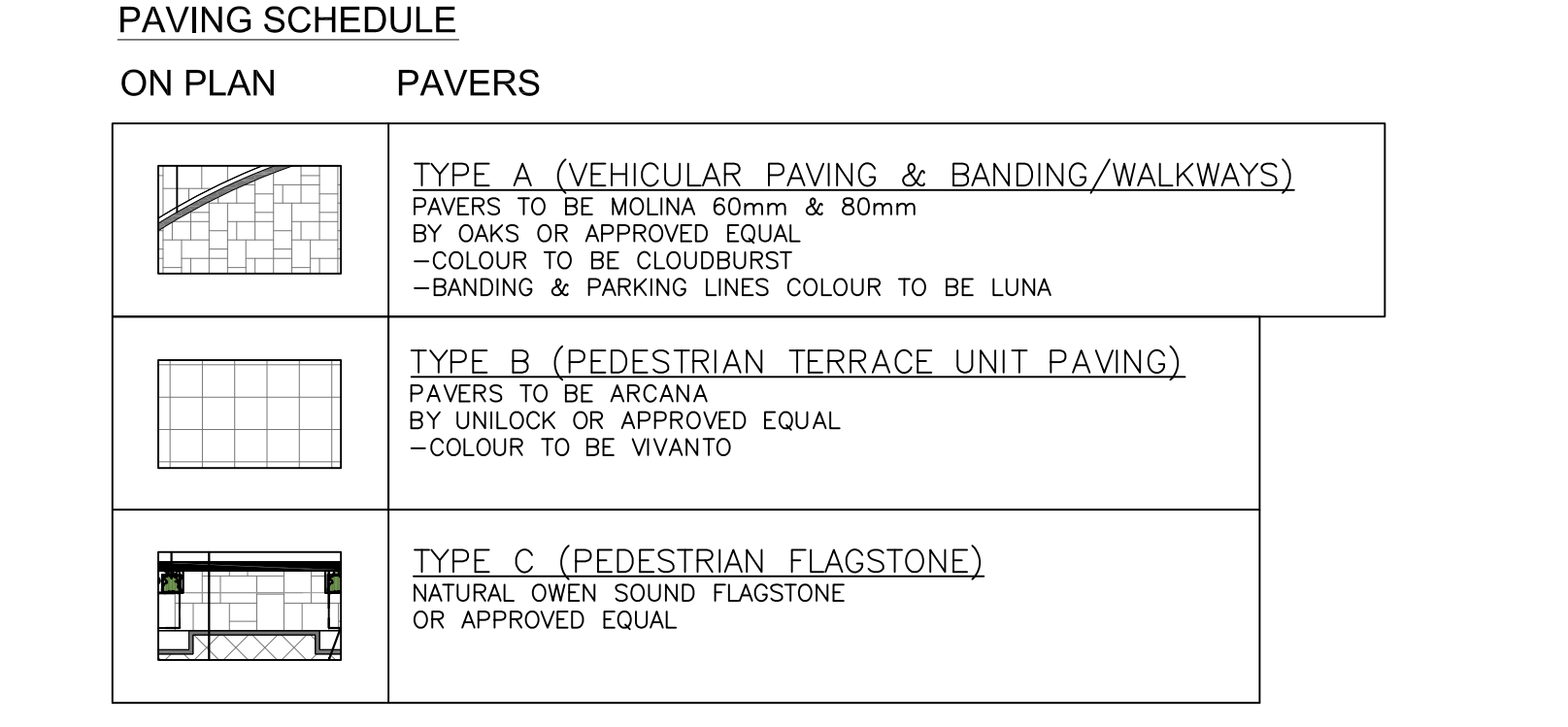
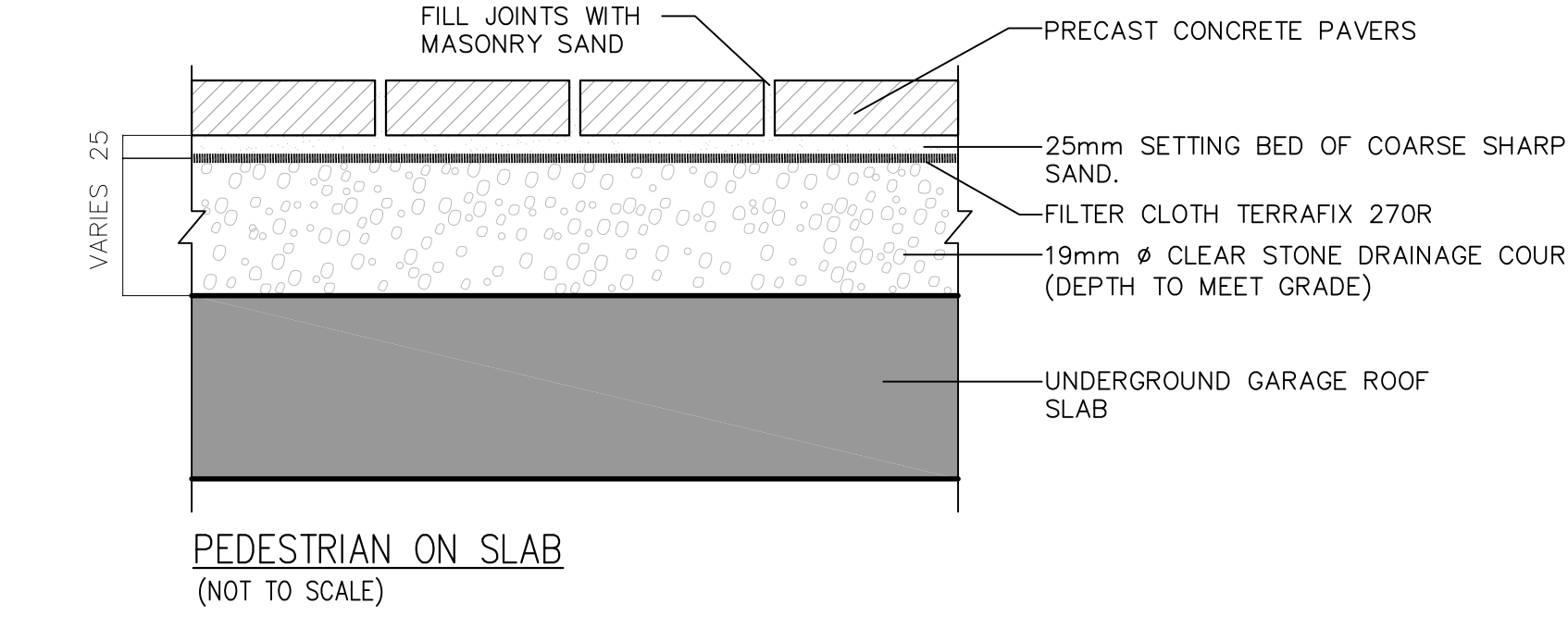
5 L200 CONCRETE PAVING ON/OFF SLAB N.T.S.



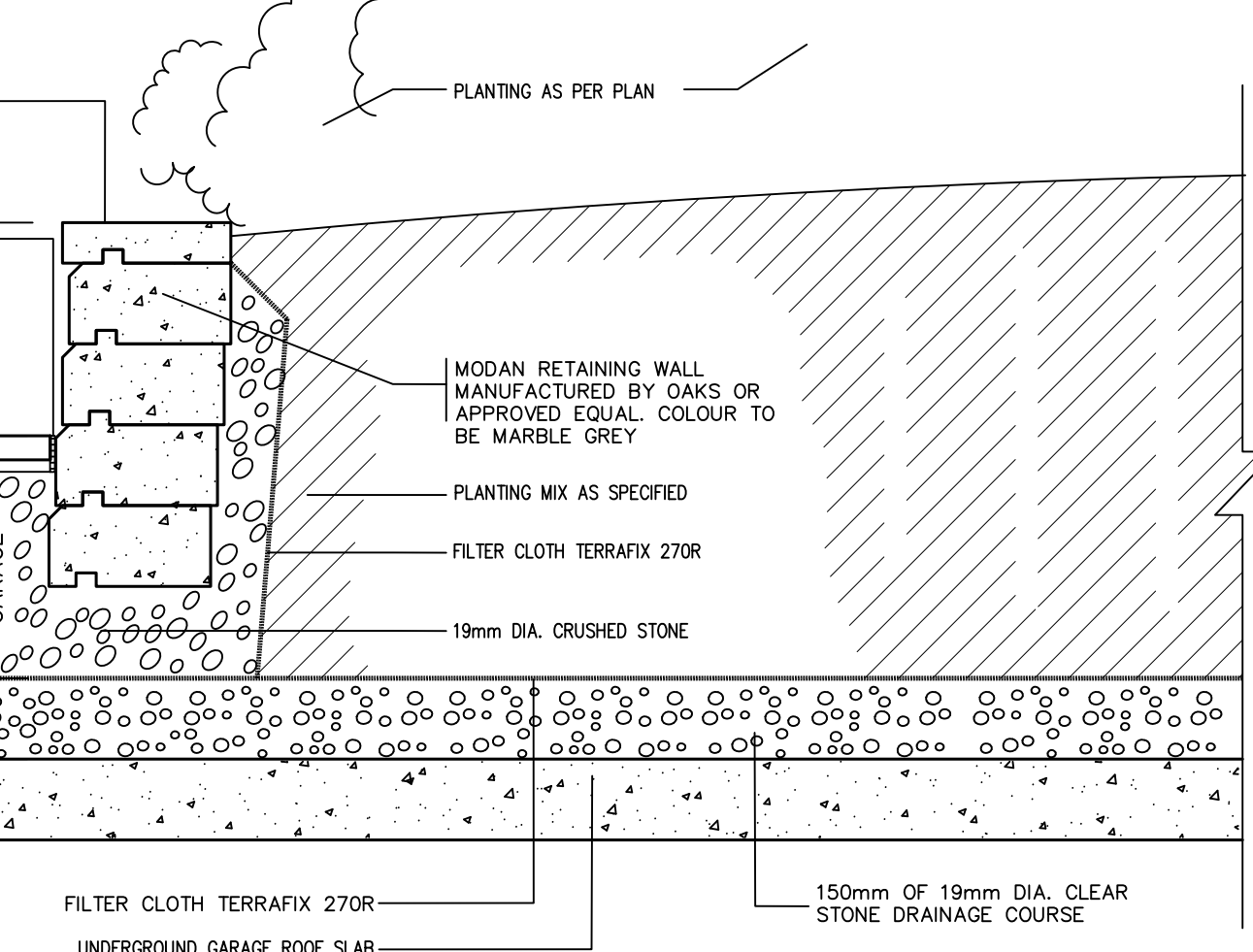
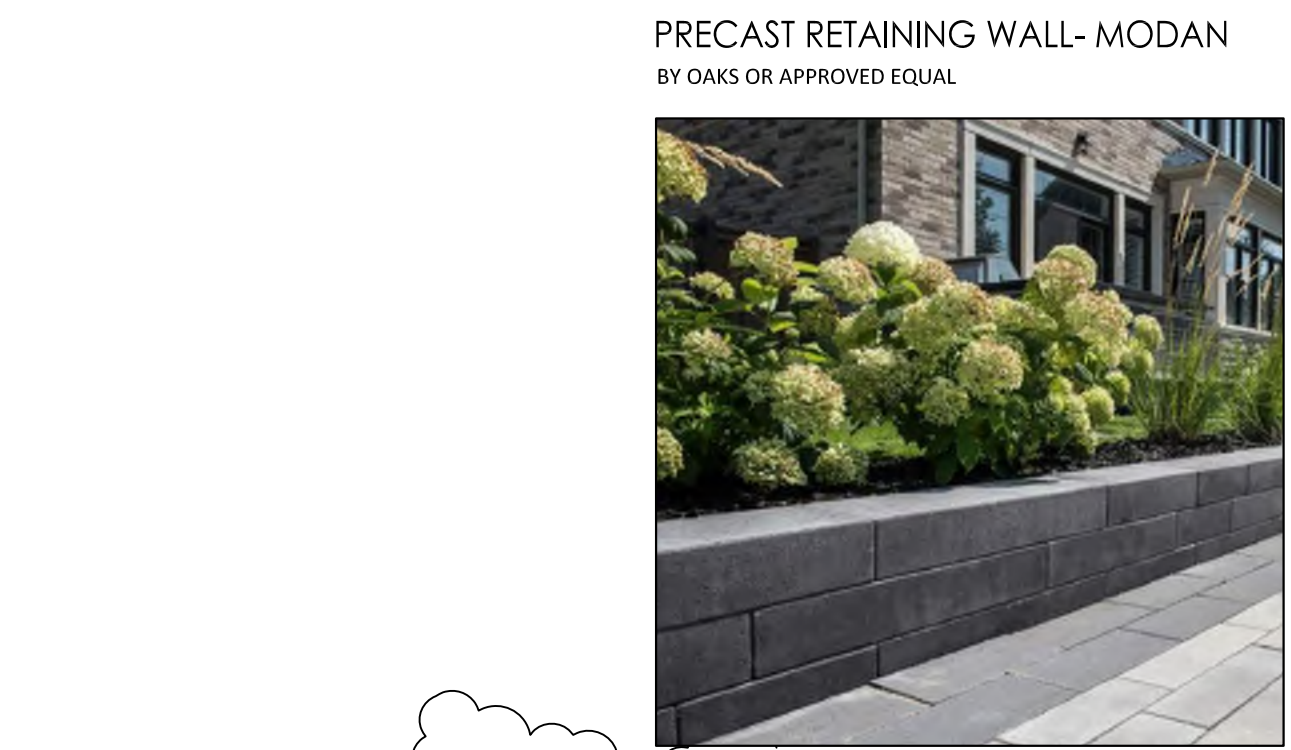
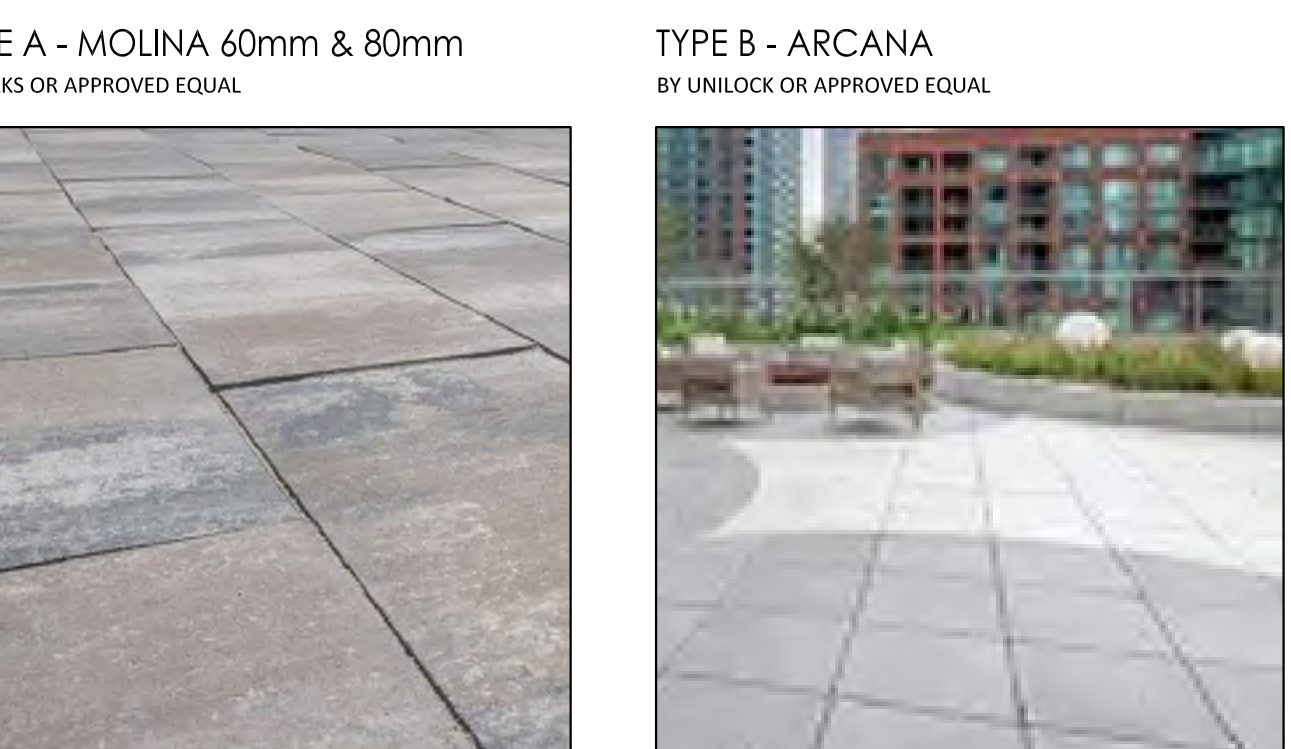
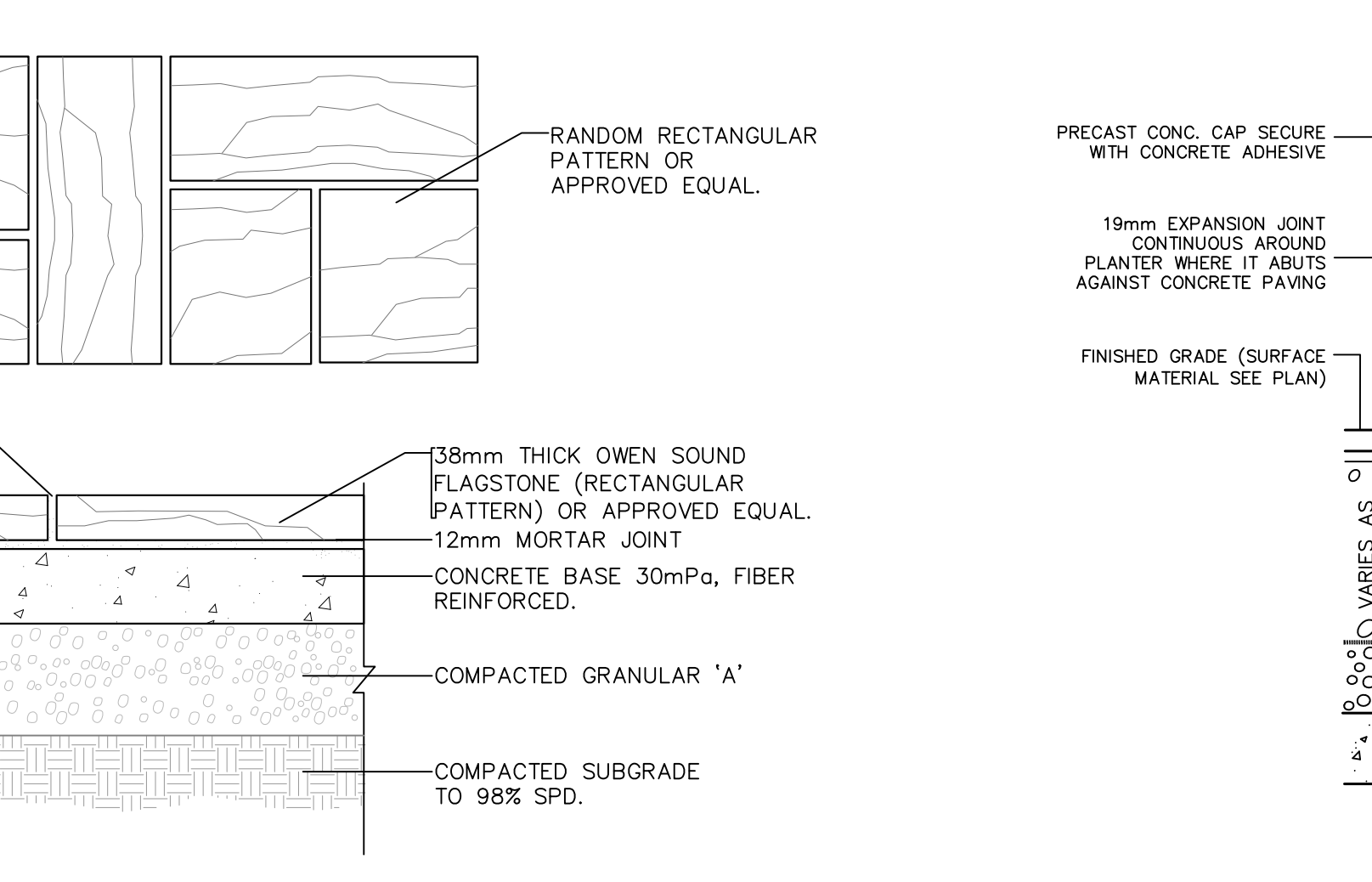
6 L200 CONCRETE PAVING ON/OFF SLAB N.T.S.



7 L200 PRECAST CONCRETE UNIT PAVERS ON/OFF SLAB (PEDESTRIAN & VEHICULAR) N.T.S.



10 L200 VEHICULAR ON GRADE N.T.S.



GENERAL NOTES

- VERIFY ALL DIMENSIONS.
- DO NOT SCALE DRAWINGS.
- REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS.
- DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT.

LEGEND:

- EXISTING TREES TO BE PRESERVED
- DECIDUOUS TREES
- CONIFEROUS TREES
- PERENNIAL/GRASSES/ORNAMENTAL PLANTING
- EXISTING CONCRETE SIDEWALK
- UNIT PAVING
- SODDING
- RAISED CONCRETE PLANTER
- PROPERTY LINE
- UG GARAGE LINE
- DECORATIVE BENCH
- DECORATIVE PLANTER
- BIKE RINGS

OWNER'S NAME _____

OWNER'S SIGNATURE _____

Town of Niagara-on-the-Lake

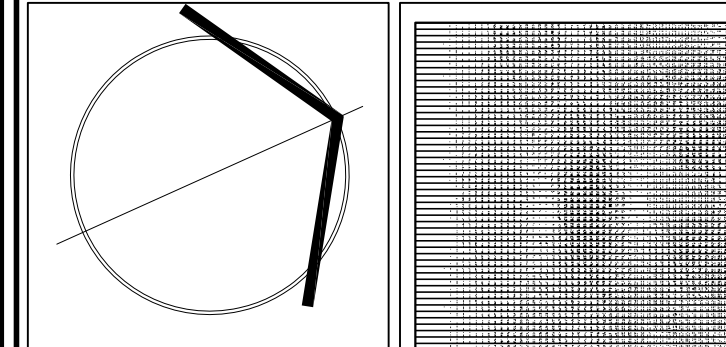
LORD MAYOR _____

TOWN CLERK _____

DATE _____

No.	DATE	REVISION	BY
9	2024-08-28	ISSUED FOR SPA SUBMISSION	S.V.
8	2024-08-22	ISSUED FOR COORDINATION	S.V.
7	2024-07-24	ISSUED FOR REVIEW	S.V.
6	2023-09-08	ISSUED FOR SUBMISSION	S.V.
5	2023-07-14	ISSUED FOR COORDINATION	S.V.
4	2023-06-12	ISSUED FOR REVIEW	S.V.
3	2023-06-08	ISSUED FOR COORDINATION	S.V.
2	2023-04-14	CONCEPT FOR REVIEW	S.V.
1	2023-01-16	CONCEPT FOR REVIEW	S.V.

It is the responsibility of the Contractor and/or Owner to ensure that the drawings with the latest revisions are used for construction.



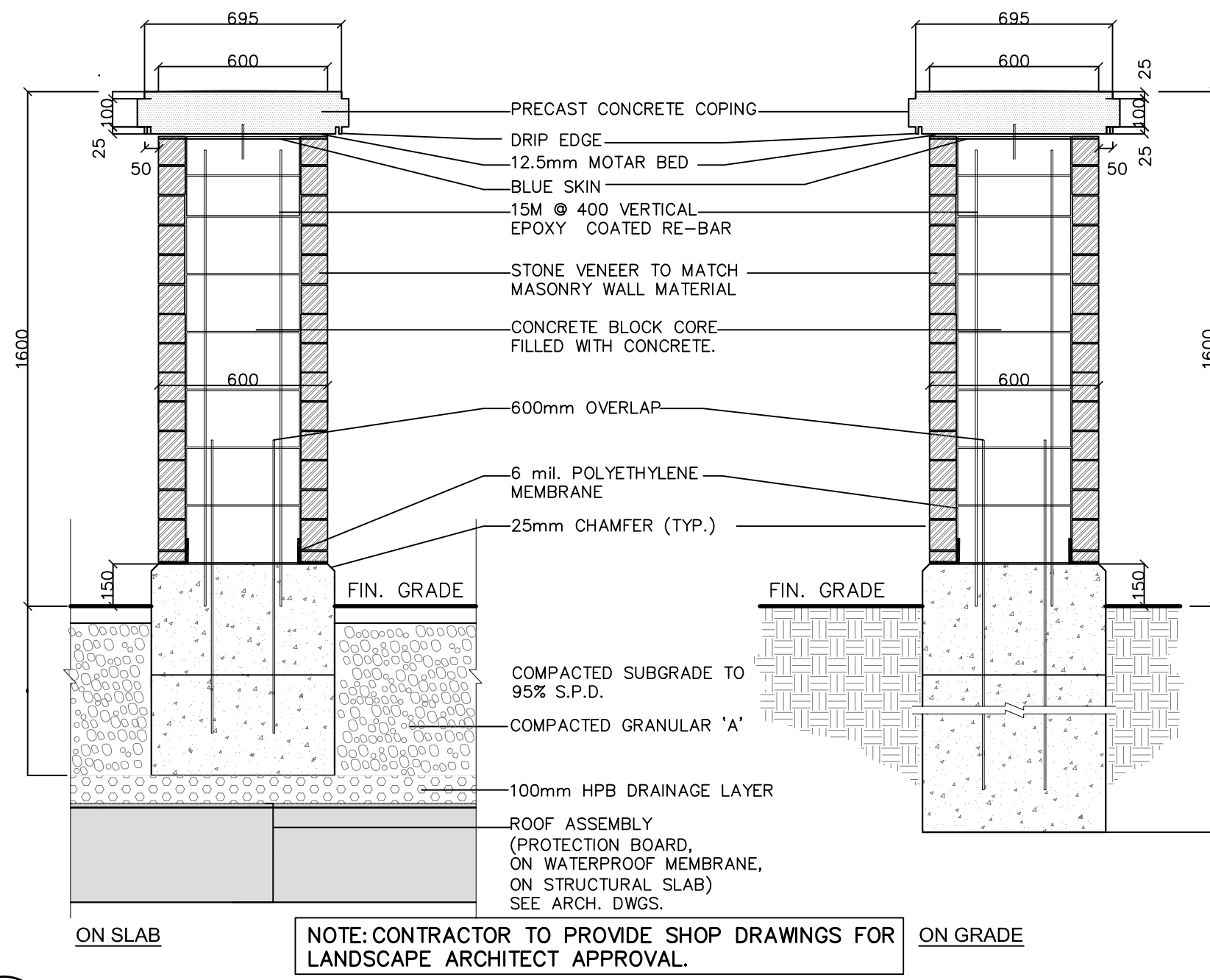
SBK 5770 HURONTARIO STREET, SUITE 320
MISSISSAUGA, ONTARIO, L5R 3G5
T: 416.695.4949 F: 905.712.3101
WWW.STRYBOS.COM

STRYBOS BARRON KING
LANDSCAPE ARCHITECTURE

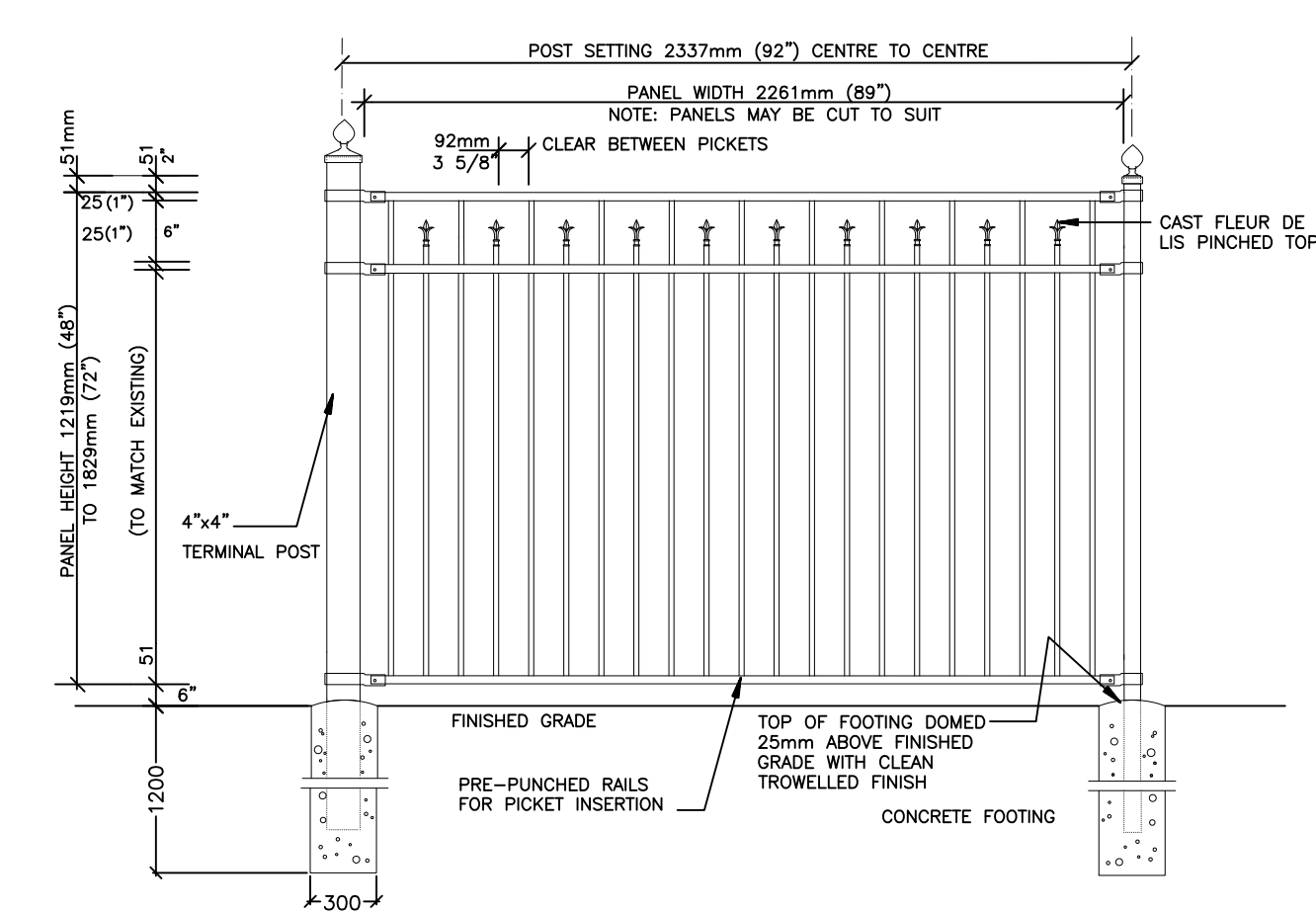
PROJECT: **THE INN AT PARLIAMENT OAK**
325 KING STREET
NIAGARA-ON-THE-LAKE, ONTARIO

DRAWING TITLE: **LANDSCAPE DETAILS**

SCALE: -	PROJECT No. 5871
DATE: JANUARY, 2023	DRAWN BY: J.M.
DRAWN BY: J.M.	CHECKED BY: S.V.
CHECKED BY: S.V.	DRAWING No. L200



1 L201 MASONRY PILLAR
NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT APPROVAL.



2 L201 1.2 DECORATIVE METAL FENCE BY IRON EAGLE OR APPROVED EQUAL

SPECIFICATIONS:
 POSTS, RAILS: EXTRUDED MARINE ALUMINUM CHROMATE CONVERSION COATING ELECTROSTATICALLY APPLIED THERMALLY BONDED POLYESTER POWDER COATING MINIMUM FILM THICKNESS 2.5 MILS
 PICKETS: 16mm x 16mm (5/8" x 5/8"), 18 GAUGE
 CAST FLEUR DE LIS ON ALTERNATING PICKETS
 FITTINGS: 12 GAUGE STAMPED MARINE ALUMINUM
 WELDS: ALUMINUM
 COLOUR: SEMI-GLOSS BLACK
 WARRANTY: 5 YEAR MAINTENANCE FREE
 TAMPER PROOF NUT AVAILABLE FOR BRACKETS

OWNER'S NAME _____

OWNER'S SIGNATURE _____

Town of
Niagara-on-the-Lake

LORD MAYOR _____

TOWN CLERK _____

DATE _____

GENERAL NOTES

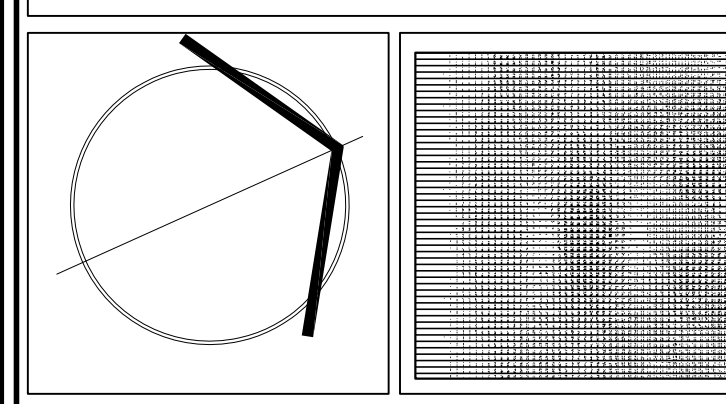
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- DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT.

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- DECIDUOUS TREES
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- EXISTING CONCRETE SIDEWALK
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- UG GARAGE LINE

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 MISSISSAUGA, ONTARIO, L5R 3G5
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STRYBOS BARRON KING
 LANDSCAPE ARCHITECTURE

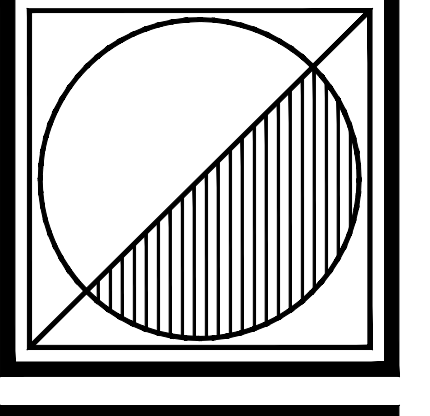
PROJECT:

**THE INN
 AT PARLIAMENT OAK**
 325 KING STREET
 NIAGARA-ON-THE-LAKE, ONTARIO

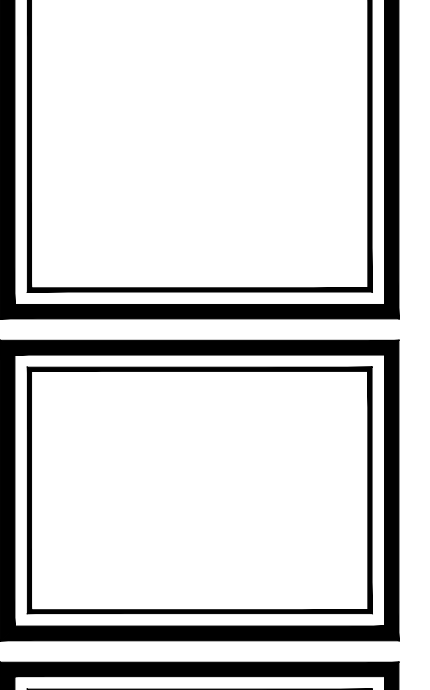
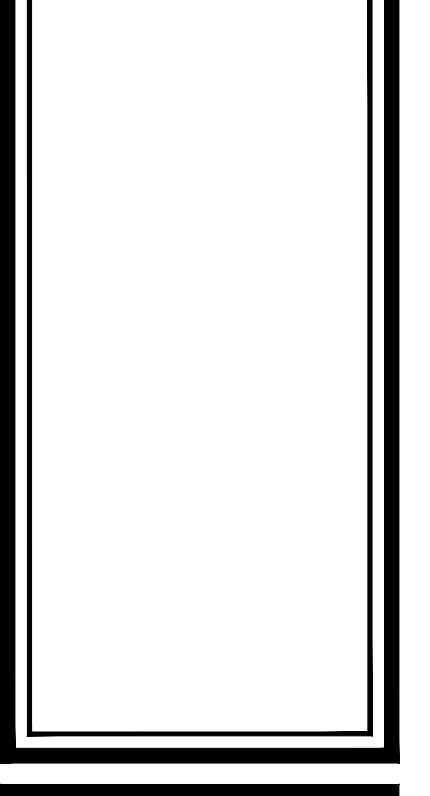
DRAWING TITLE:

**LANDSCAPE
 DETAILS**

SCALE:	-	PROJECT No.	5871
DATE:	JANUARY, 2023	DRAWN BY:	J.M.
DRAWN BY:	J.M.	CHECKED BY:	S.V.
CHECKED BY:	S.V.	DRAWING No.	L201



Peter J. Lesdow
architect



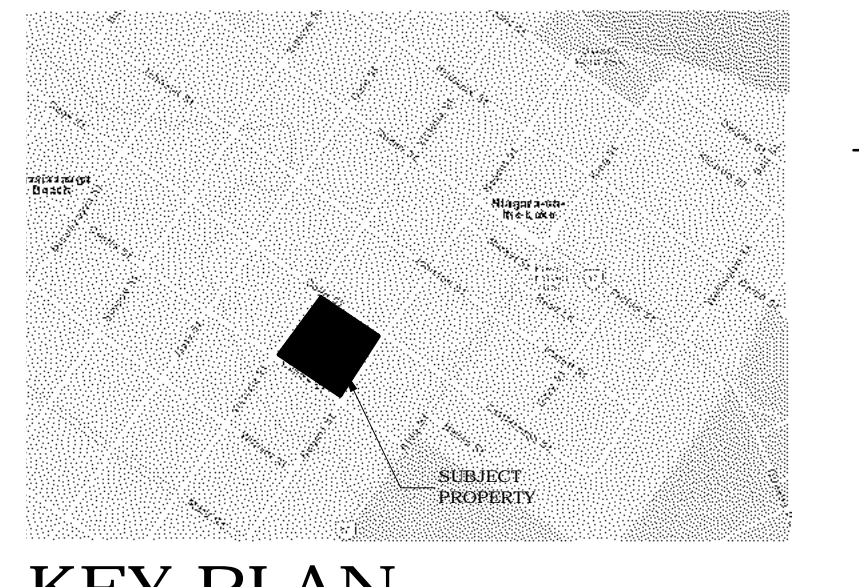
SITE PLAN & STATISTICS

DATE	REVISIONS	DATE	REVISIONS
Nov 18/22	1. PRELIMINARY	Nov 18/22	1. PRELIMINARY
Nov 18/22	2. REVISED	Nov 18/22	2. REVISED
Nov 18/22	3. REVISED	Nov 18/22	3. REVISED
Nov 18/22	4. REVISED	Nov 18/22	4. REVISED
Nov 18/22	5. REVISED	Nov 18/22	5. REVISED
Nov 18/22	6. REVISED	Nov 18/22	6. REVISED
Nov 18/22	7. REVISED	Nov 18/22	7. REVISED
Nov 18/22	8. REVISED	Nov 18/22	8. REVISED
Nov 18/22	9. REVISED	Nov 18/22	9. REVISED
Nov 18/22	10. REVISED	Nov 18/22	10. REVISED

PARLIAMENT OAK HOTEL
325 King Street
Niagara-on-the-Lake

DATE: Nov 18/22
SCALE: 1:100
DRAWN BY: MRW
CHECK BY: RJL

A101



KEY PLAN
SCALE: NOT TO SCALE

NOTE:
WHOLESALE WHOLESALE LIMITS FOR GARAGE AND REARER TRUCKS AS PROVIDED BY BY ANDERSON ASSOCIATES LIMITED 45 GERRARD STREET, SUITE 504, GERRARD ONT. L4R 1T1

SURVEY NOTE:
LOTS 145, 150, 191 & 192, TP. PLAN 86 BEING PART 1 ON PLAN 308-15044, 325 KING STREET, TOWN OF NIAGARA-ON-THE-LAKE, REGIONAL MUNICIPALITY OF NIAGARA. BOUNDARIES, SURVEY TOPOGRAPHY, EXISTING SITE FEATURES. AS SHOWN LIMITED, 4318 PORTER ROAD - UNIT 2, NIAGARA FALLS, ON L2E 6A4

SITE STATISTICS

LOT AREA	90' x 171' = 15,390 sq. ft.	EXISTING BUILDING GROUND COVER	EXISTING INSTITUTIONAL (TO BE DEMOLISHED)	88.17%
BUILDING GROUND COVER	Parliament Oak Hotel	Pavilion West	Pavilion East	21.1% of Lot Area (25% Permitted)
DRIVEWAY ASPHALT AREA	12.0% of Lot Area	LANDSCAPED AREA	66.9% of Lot Area	

PARKING REQUIREMENTS

Hotel, Motel	= 1 per guest room in addition to other uses	129 Rooms	129 Spaces
Restaurant	= %dY% 'S' a : 05	Restaurant, Bar/ Lounge, Private Bar Lounge & Breakfast Room	42 Spaces
Restaurant Outdoor Patio	= %dY% 'S' a : 05	Patio	7 Spaces
Conference Rooms or Areas	Used in Conjunction with Other Uses	Upper Canada Banquet Room, Lower Canada Banquet Room, Simcoe Meeting Room	30 Spaces
Spa	1 %dY% 'S' a		4 Spaces
Office	1 %dY% 'S' a		21 Spaces
TOTAL PARKING REQUIRED (as per By-Law 431(BE)-23)			233 Spaces
REQUIRED DESIGNATED ACCESSIBLE PARKING SPACES			7 Designated Spaces

PARKING PROVIDED

STANDARD PARKING SPACE (2.75m x 6.00m TYPICAL) AT GRADE	7 Spaces
BELOW GRADE	234 Spaces
DESIGNATED ACCESSIBLE PARKING AT GRADE	1 Spaces
BELOW GRADE	6 Spaces
TOTAL PARKING PROVIDED	248 Spaces

BUILDING AREA	DENSITY	SITE AREA
BASEMENT 2	1.11	1.63 ha
BASEMENT 1	1.11	1.63 ha
GROUND FLOOR	1.11	1.63 ha
MEZZANINE	1.11	1.63 ha
SECOND FLOOR	1.11	1.63 ha
THIRD FLOOR	1.11	1.63 ha
FOURTH FLOOR	1.11	1.63 ha
PENTHOUSE	1.11	1.63 ha
TOTAL BUILDING AREA	1.11	1.63 ha
		SITE DENSITY: 78.2 Units per Hectare

LEGEND

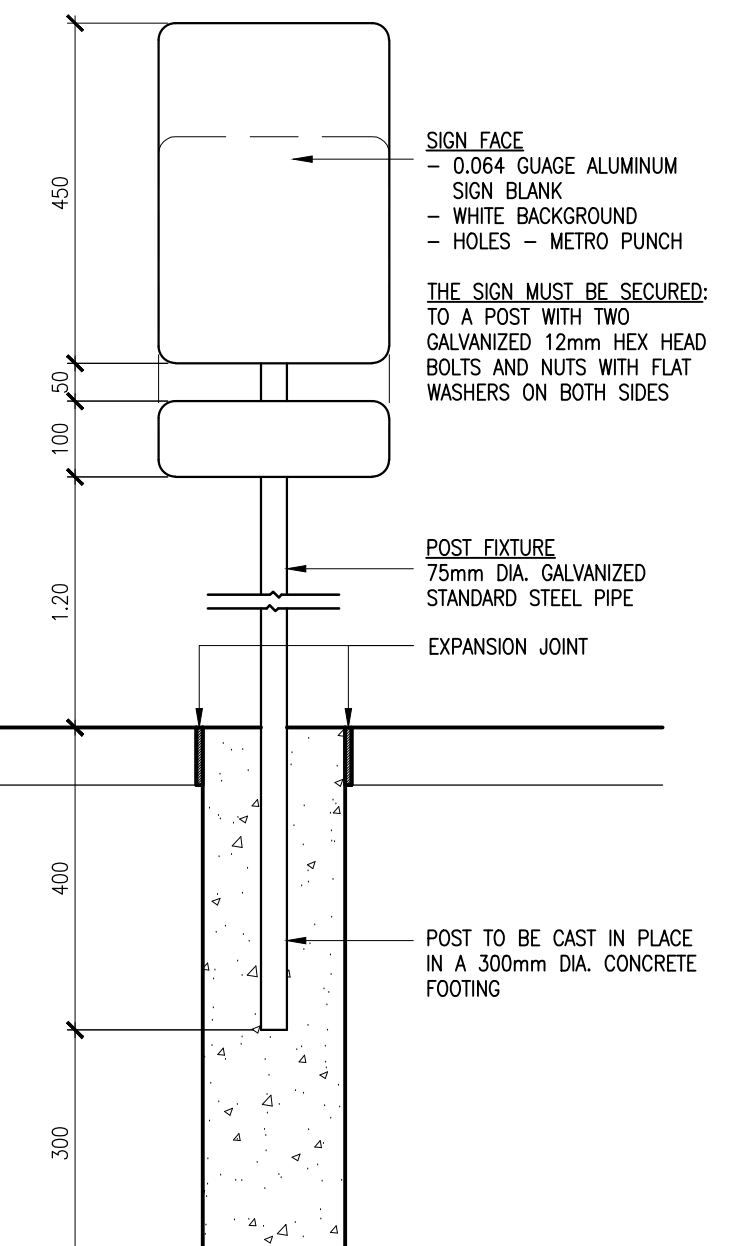
- 4-STORY 1-STORY BUILDING
- BUILDING ENTRANCES
- ASPHALT SURFACE
- PAVER SURFACE
- CONCRETE SURFACE
- POURED CONCRETE CURB
- ALUMINUM FENCE TO HEIGHT NOTED
- PRECAST CONCRETE WALLS

- NOTE: ALL AREAS NOT HATCHED TO BE GRASS OR LANDSCAPING
- EXTENT OF EXISTING BUILDING TO BE DEMOLISHED
- EXTENT OF EXISTING SURFACE TO BE REMOVED
- PARKING STALL NUMBER
- FIRE HYDRANT
- BELL POLE
- LAMP STANDARD
- HYDRO POLE
- IN ALL CASES (X) INDICATES EXISTING

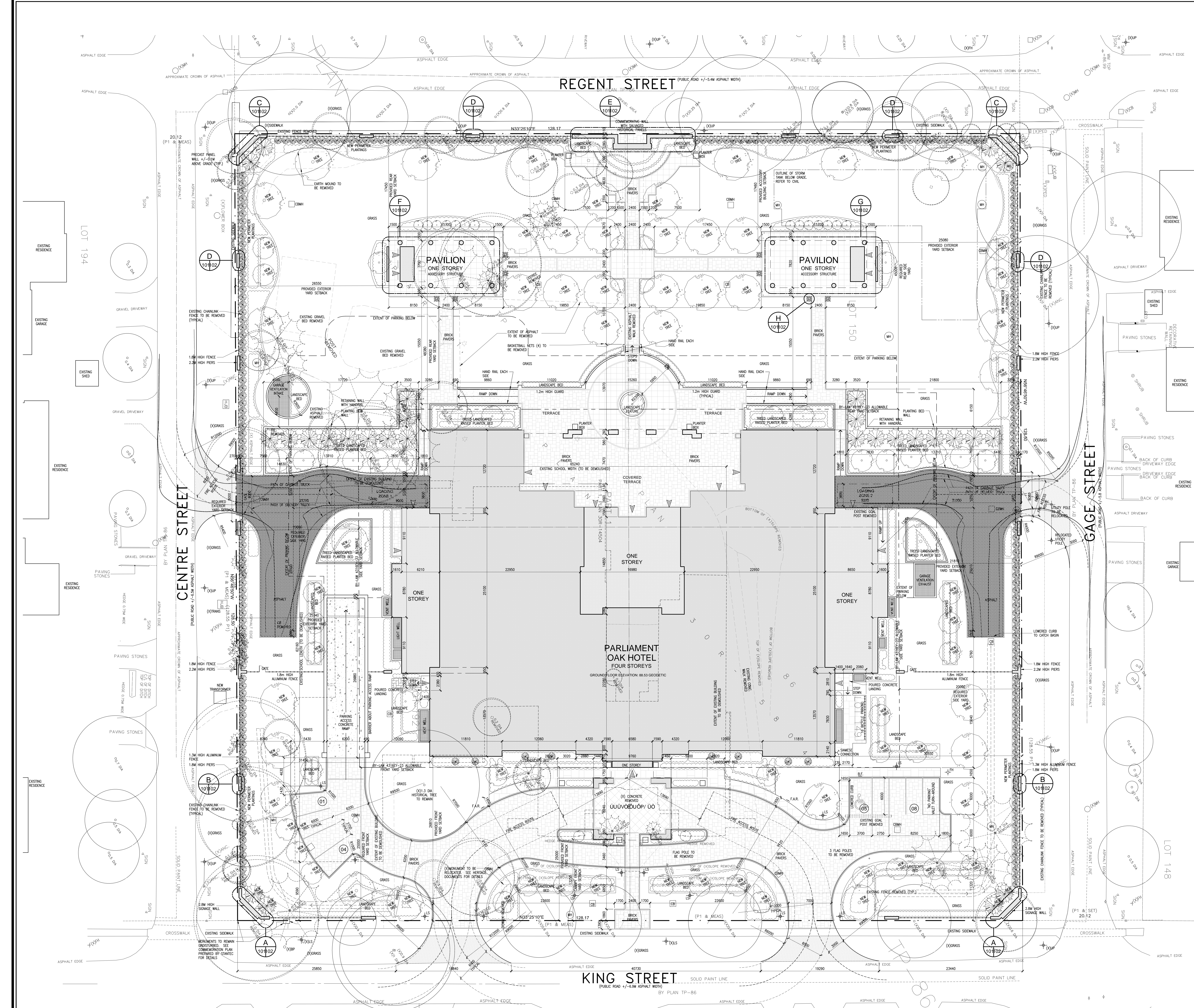
- DECIDUOUS EXISTING TREE TO REMAIN
- CONIFEROUS EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE TO BE PLANTED
- SPRINGS
- LOW GROWTH GRASS COVER

TYPICAL SIGNAGE

SCENE NOTES:
ALL PARKING SPACES FOR BARBERS-FREE SHALL BE INDICATED WITH TYPICAL BARBERS-FREE SIGNAGE CONTROLLED BY THE GENERAL CONTRACTOR. THESE SIGNS SHALL BE SUPPLIED & INSTALLED BY THE GENERAL CONTRACTOR. THE SIGN SHALL BE MOUNTED AT A HEIGHT OF 1.8-2.1 METERS FROM TOP OF CURB TO BOTTOM OF SIGN & CENTERED WITHIN THE PARKING SPACE. THE GENERAL CONTRACTOR SHALL SUPPLY ALL REQUIRED FIRE ROUTE SIGNS. THESE SIGNS SHALL BE MOUNTED IN COMPLIANCE WITH THE HIGHWAY TRAFFIC ACT AND THE ONTARIO TRAFFIC MANUAL, WITH A MAX. SPACING OF 50M.
ALL STOP BARBERS-FREE, STAY PARKING, NO OVERNIGHT PARKING AND ALL WAY SIGNS SHALL BE SUPPLIED & INSTALLED BY THE GENERAL CONTRACTOR. - ALL SIGNS SHALL CONFORM TO THE ONTARIO TRAFFIC MANUAL AND HIGHWAY TRAFFIC ACT.



- BY PERMIT ONLY
- \$300.00 FINE
- F.A.R. Fire Access Route
- B.F. Barrier Free



SITE PLAN
SCALE: 1:200

TYPICAL WALL & FENCE NOTES

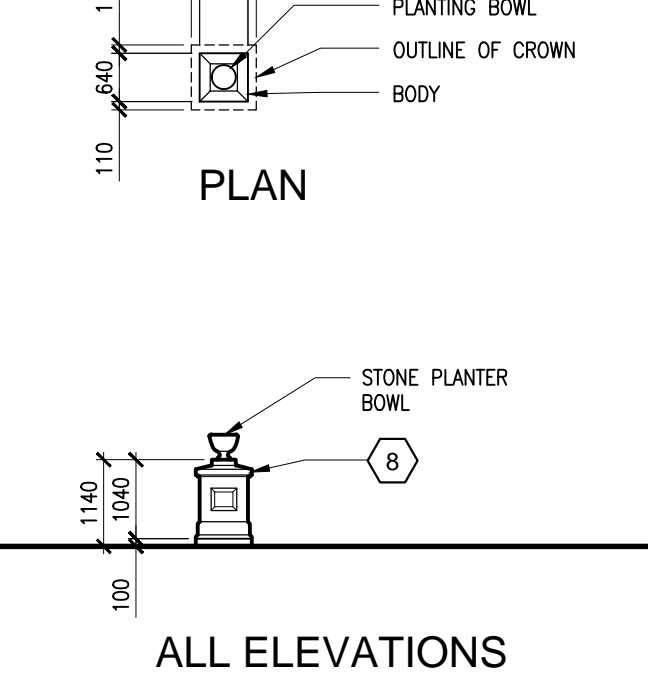
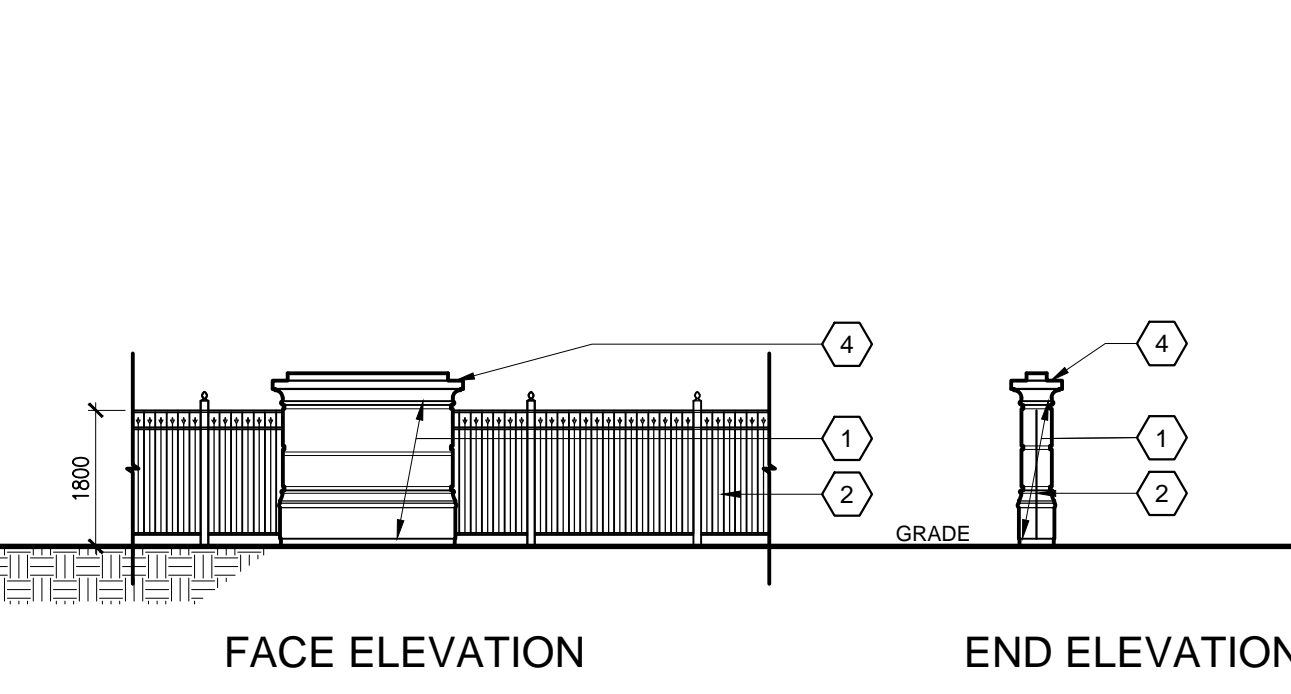
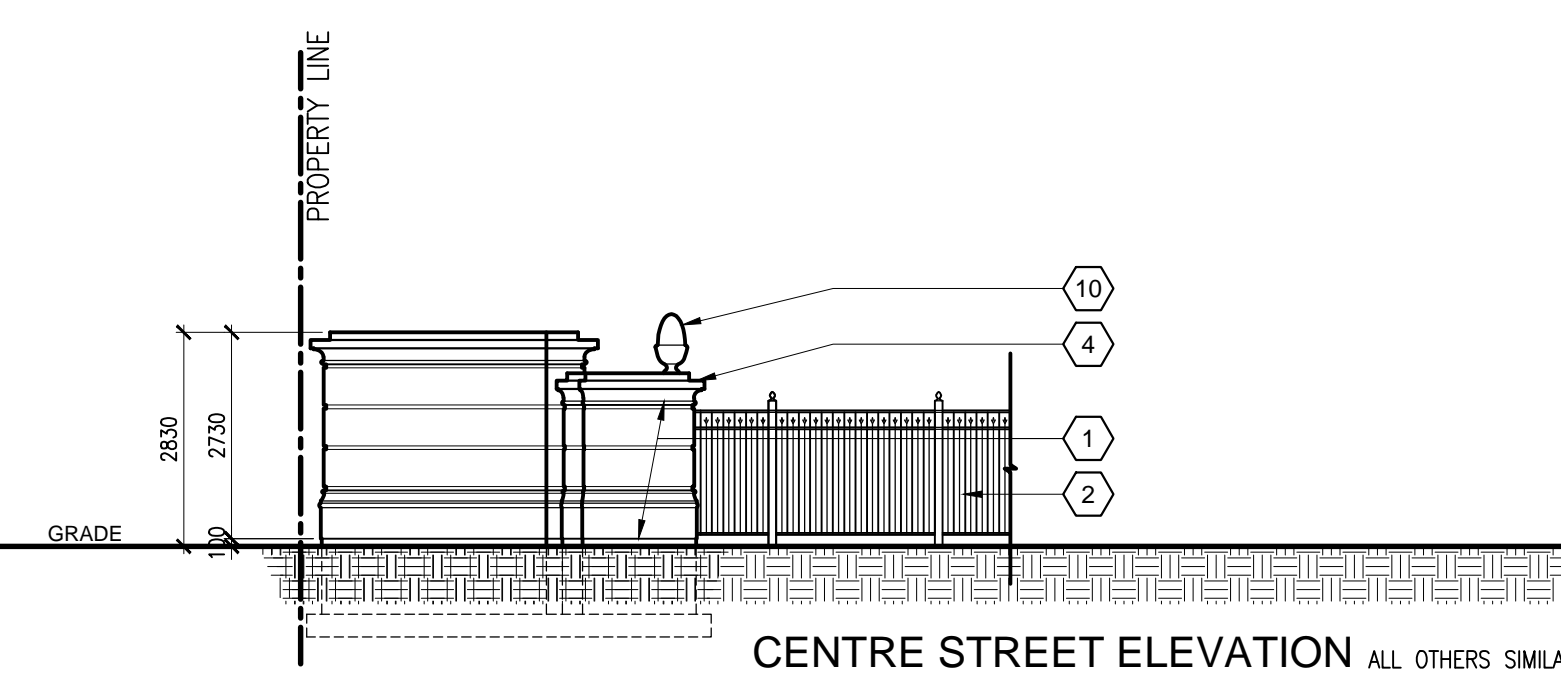
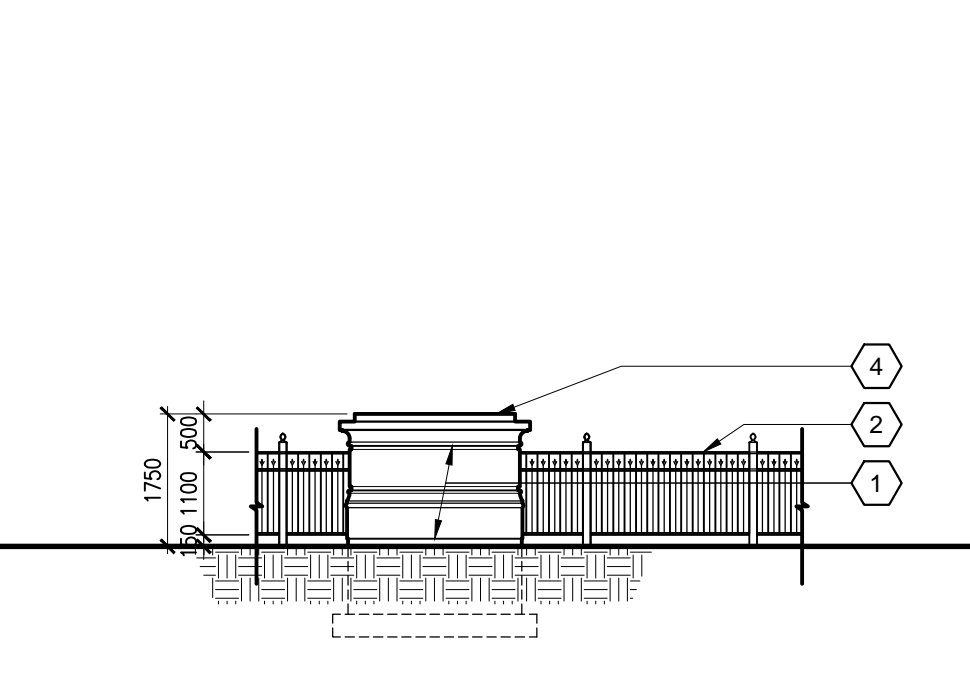
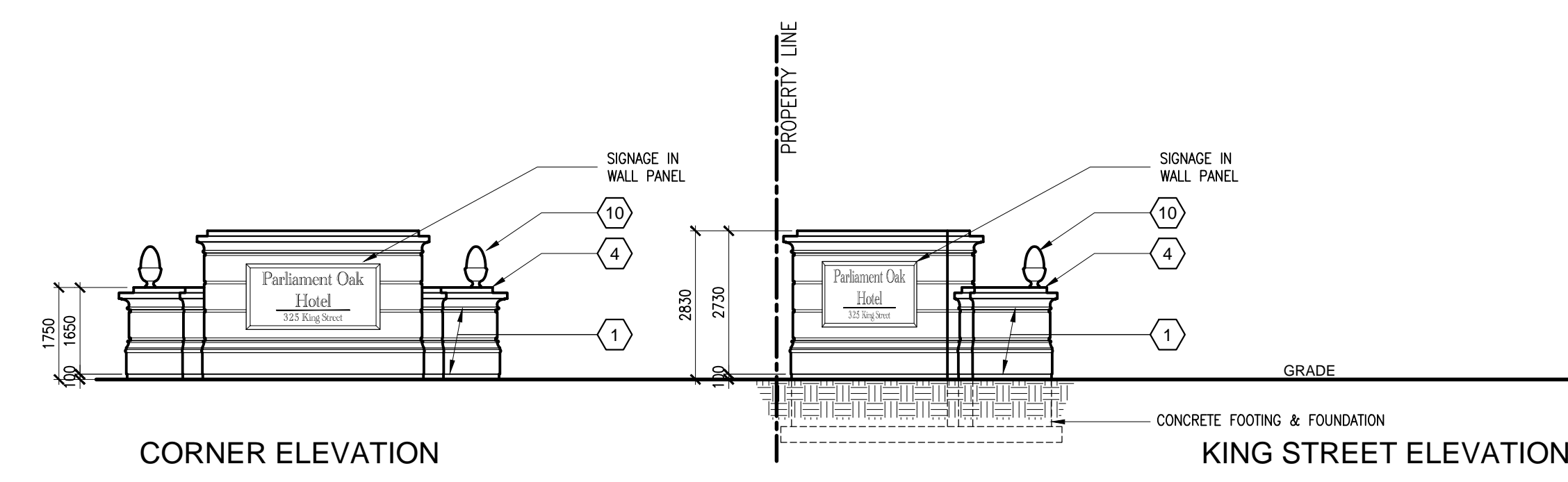
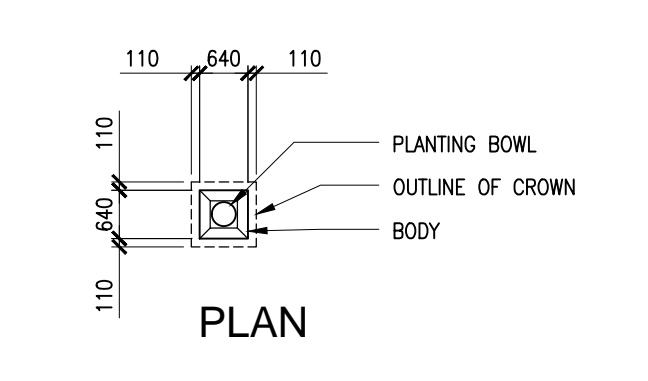
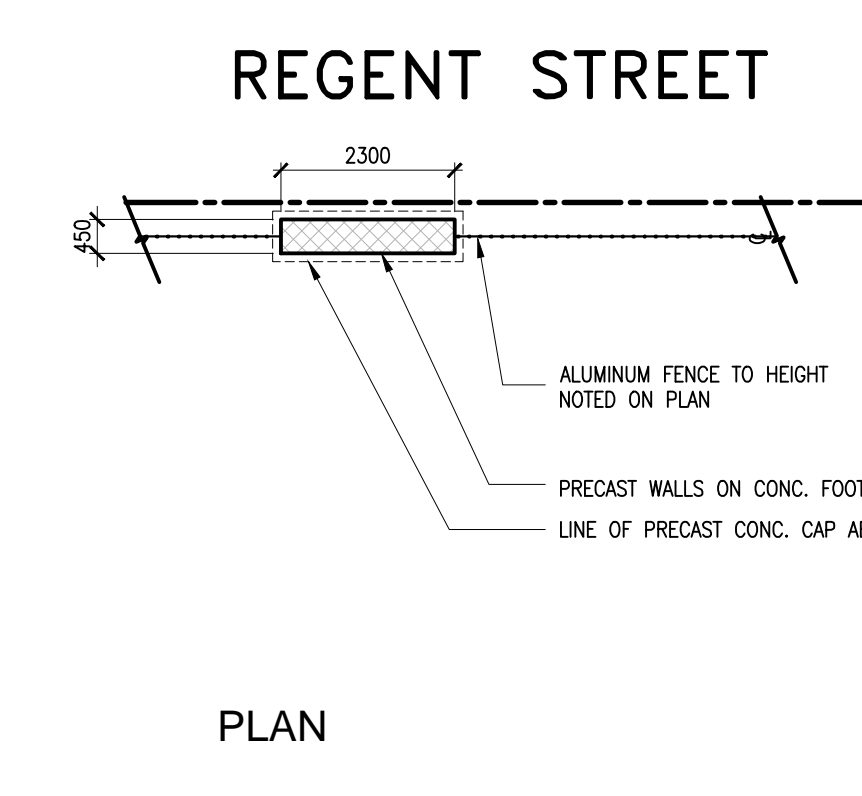
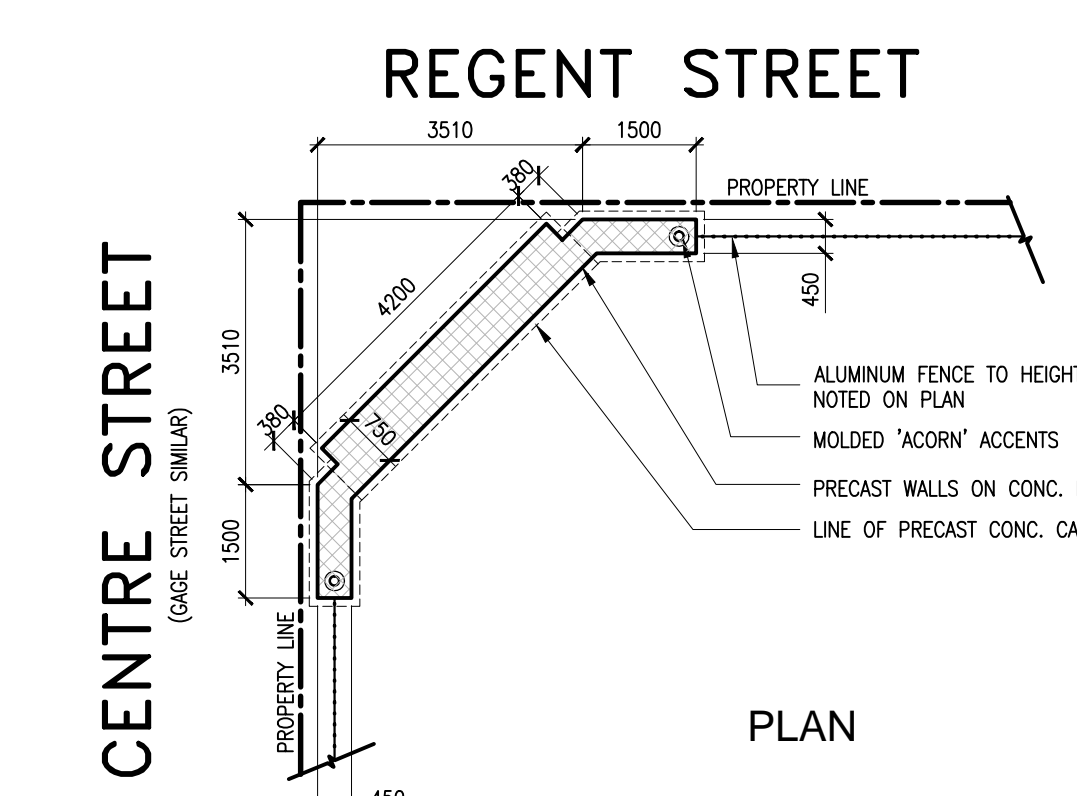
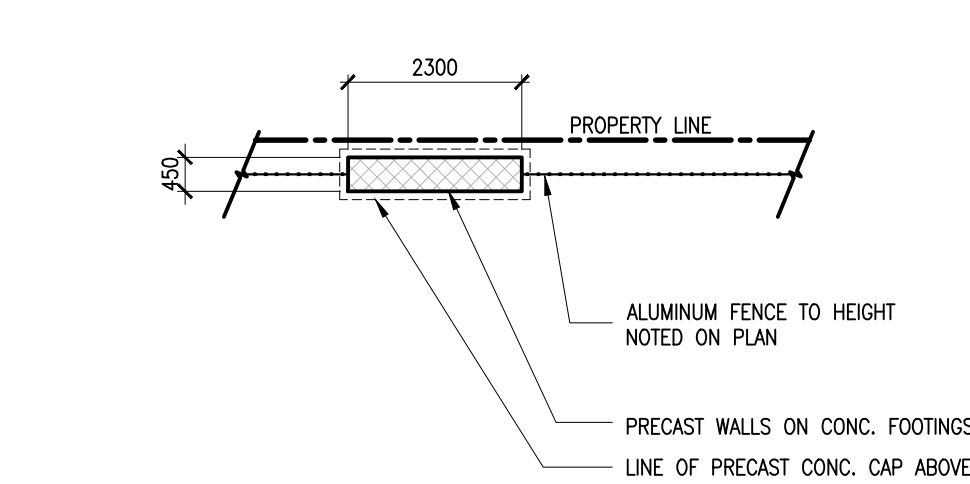
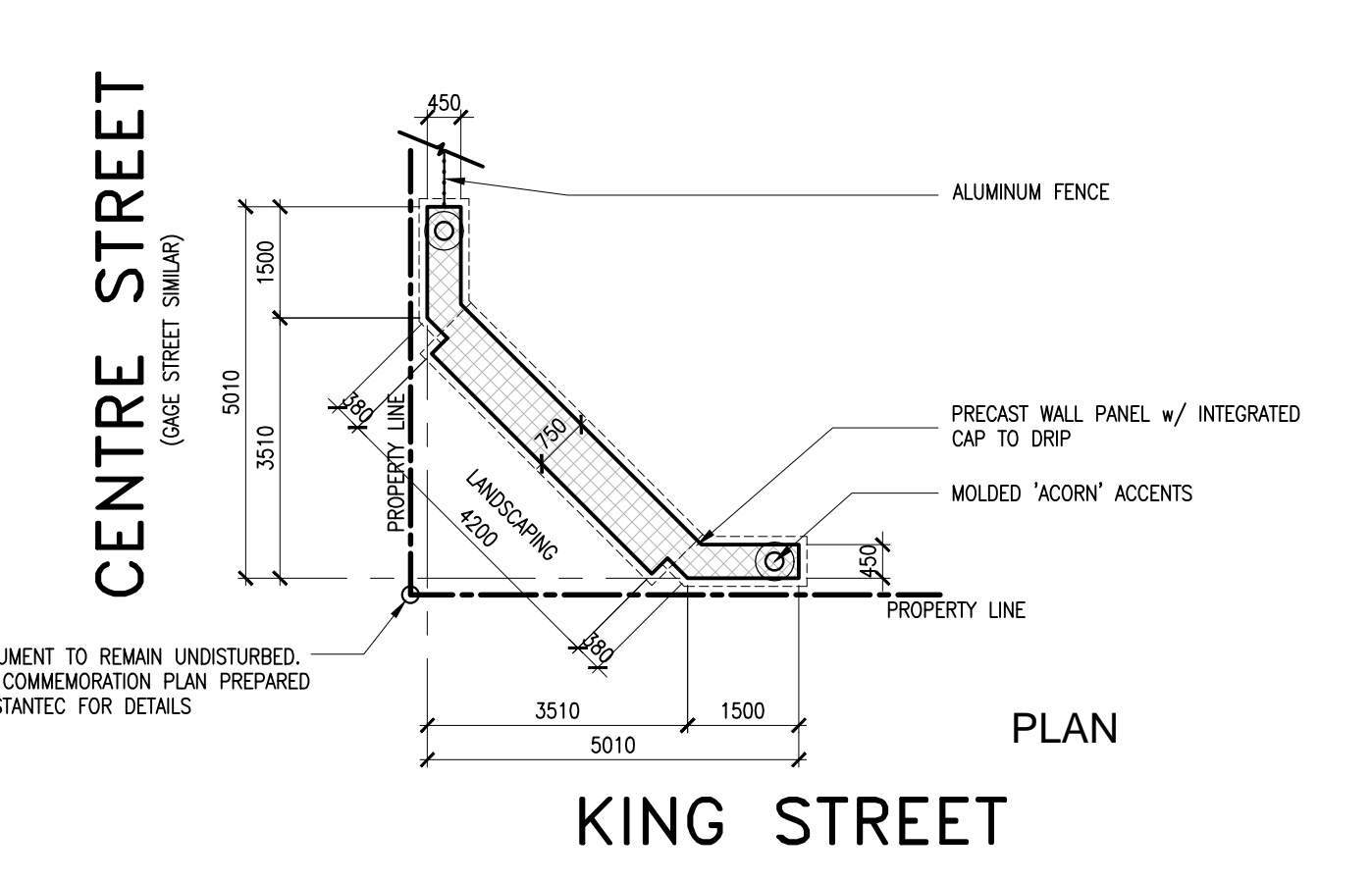
- ALUMINUM FENCE AND INTERMEDIATE WALLS TO BE PARALLEL TO THEIR ADJACENT PROPERTY LINES.
- INTERMEDIATE WALLS EXACTLY SPACED ACROSS STREET.

TYPICAL ELEVATION NOTES
SEE BELOW FOR COLOUR DESCRIPTIONS

- MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ INTEGRATED BRACKING, REVEALS, ETC. STONE FINISH.
- MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ WINDOW OR METAL LOUVER FRAME, LEAF, KEST AND JAMB SURROUNDING DETAILING. STONE FINISH.
- DOUBLE FRAME LOW-WINDOW SYSTEM WITH FINED GLAZING AND INTEGRATED MULLIONS. OPERABLE OR NONOPERABLE TO LATER DESIGN.
- MOLDED PRE-CAST CONCRETE CORNICE w/ DETAIL BRACKING, REVEALS, ETC. STONE FINISH.
- PRE-FINISHED ALUMINUM CAP FLASHING TO DRIP.
- OUTLINE OF FORWARD OR SECTIONED BUILDING ELEMENTS.
- AUTOMATIC OPERATING SLIDING DOOR SYSTEM WITH SILLGLAZES AND TRANSOM.
- MOLDED PRE-CAST CONCRETE PANEL FINES w/ INTEGRATED BRACKING, REVEALS, CAP, ETC. STONE FINISH.
- MOLDED PRE-CAST CONCRETE BALUSTRADE, SILL AND RAIL. STONE FINISH.
- MOLDED ACCORN ACCENT. STONE FINISH.
- FRENCH BALCONETTE RAILING w/ TAMPORED GLASS BACK PANEL.
- BETWEEN WINDOW MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCESS IN STONE FINISH.
- MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ CORNICE, CORNICE AND ACCENTS IN STONE FINISH, AND INTEGRATED BRACK DETAILING.
- MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ LOW RAIL AND RAIL BALUSTRADE, REVEALS, ETC. IN STONE FINISH.
- MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM CORNICES w/ FRENCH CORNICE AND ACCENTS IN STONE FINISH.
- WINDOOR & CORNICE w/ PRE-FINISHED STANDING SEAM METAL ROOF SYSTEM.
- MANUALLY OPERATED SWING DOOR SYSTEM WITH SILLGLAZES AND TRANSOM IN MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCESS IN STONE FINISH.
- MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCESS IN STONE FINISH.
- METAL LOUVER IN MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCESS IN STONE FINISH.
- SMOOTH FACE MOLDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCESS IN STONE FINISH.
- MOLDED PRE-CAST CONCRETE COLUMN IN STONE FINISH.
- PRE-FINISHED ALUMINUM FENCE. COLOUR BLACK. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.

COLOURS

- REFER ALSO TO ARTIST PERSPECTIVE RENDERINGS FOR COLOURATION.
- COLOURS NOTES BELOW ARE CONSERVATIVE - ARCHITECT RESERVES THE RIGHT TO MODIFY COLOURS BASED ON SUPPLIER AVAILABILITY.
- PRECAST CONCRETE FINISHES TO BE:
 - "STONE" TO BE MIMIC SANDSTONE COLOUR.
 - "TRUSS" TO BE BROWN-RED WITH HORIZONTALS.
 - "MORTAR" TO BE SAME COLOUR AS "STONE".
- WINDOW FRAMES TO BE WHITELY OFF-WHITE.
- GLASS TO BE WITH LIGHT GREY TINT.
- FRENCH BALCONETTE RAILING TO BE BLACK WITH BRASS HIGHLIGHTS TO BE LATER DETERMINED.
- METAL FINISHING & ASSOCIATED FLASHING TO BE SOFT GREY.
- METAL FINISHING TO MATCH ADJACENT MATERIAL.
- METAL COLOURS TO BE DARK GREY.



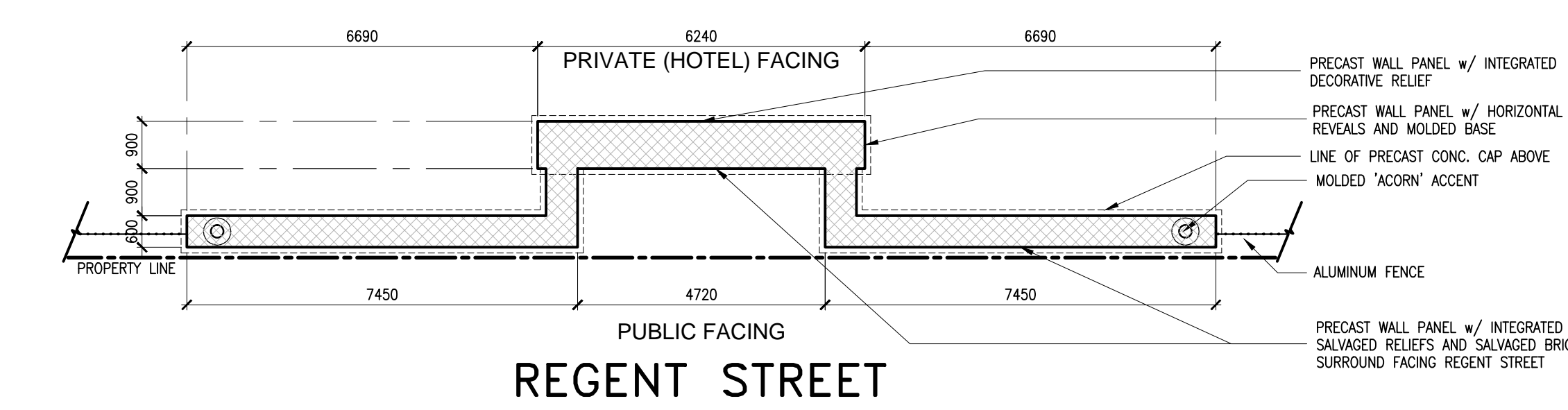
CORNER WALLS AT KING ST.
SCALE: 1:100

LOW INTERMEDIATE WALLS
(AT CENTRE AND GAZE STREETS TOWARDS KING)
SCALE: 1:100

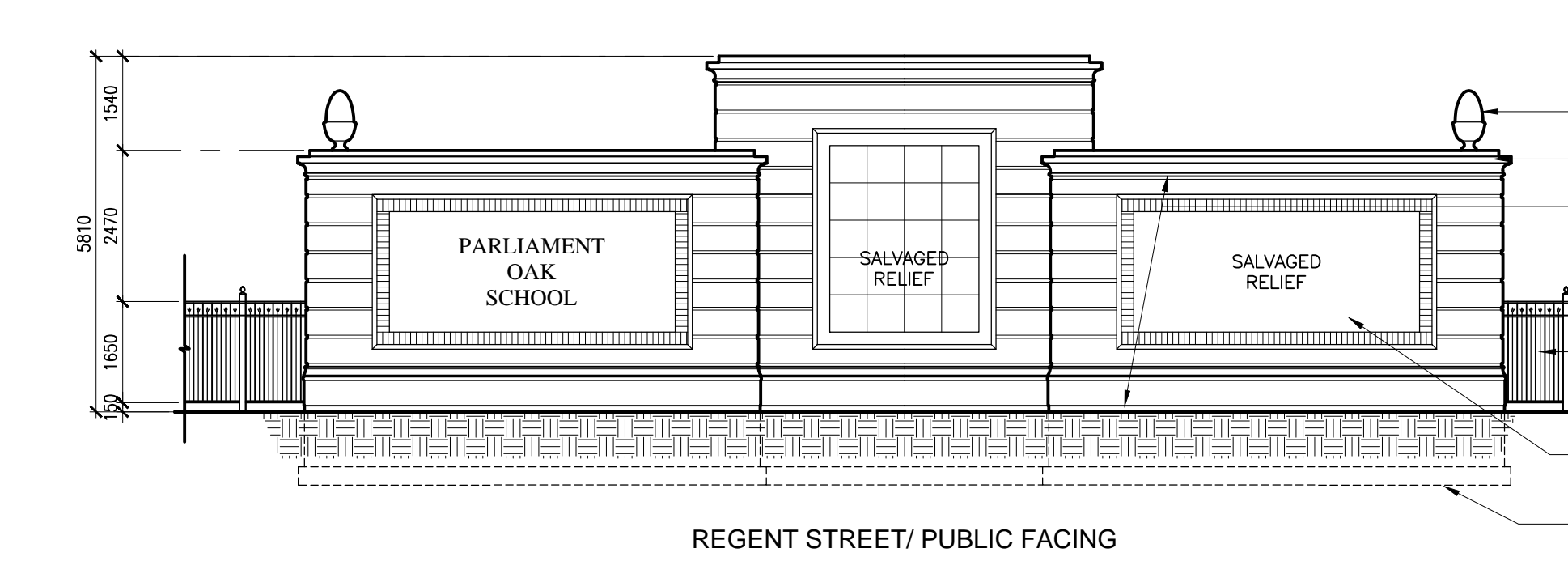
CORNER WALLS AT REGENT ST.
SCALE: 1:100

INTERMEDIATE WALLS
(ABOUT REAR YARD AT REGENT, CENTRE AND GAZE STREETS)
SCALE: 1:100

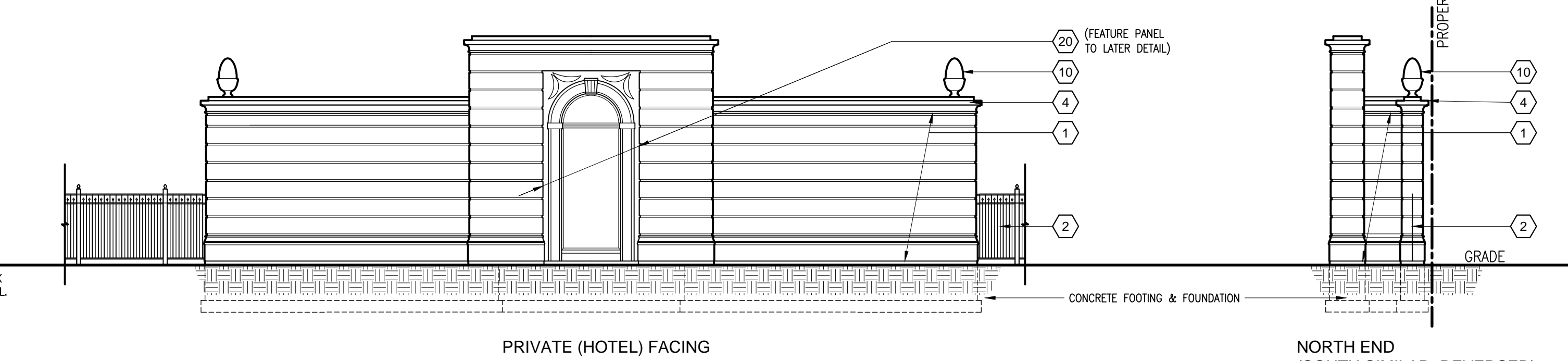
PLANTER PEDESTAL
SCALE: 1:100



REGENT STREET



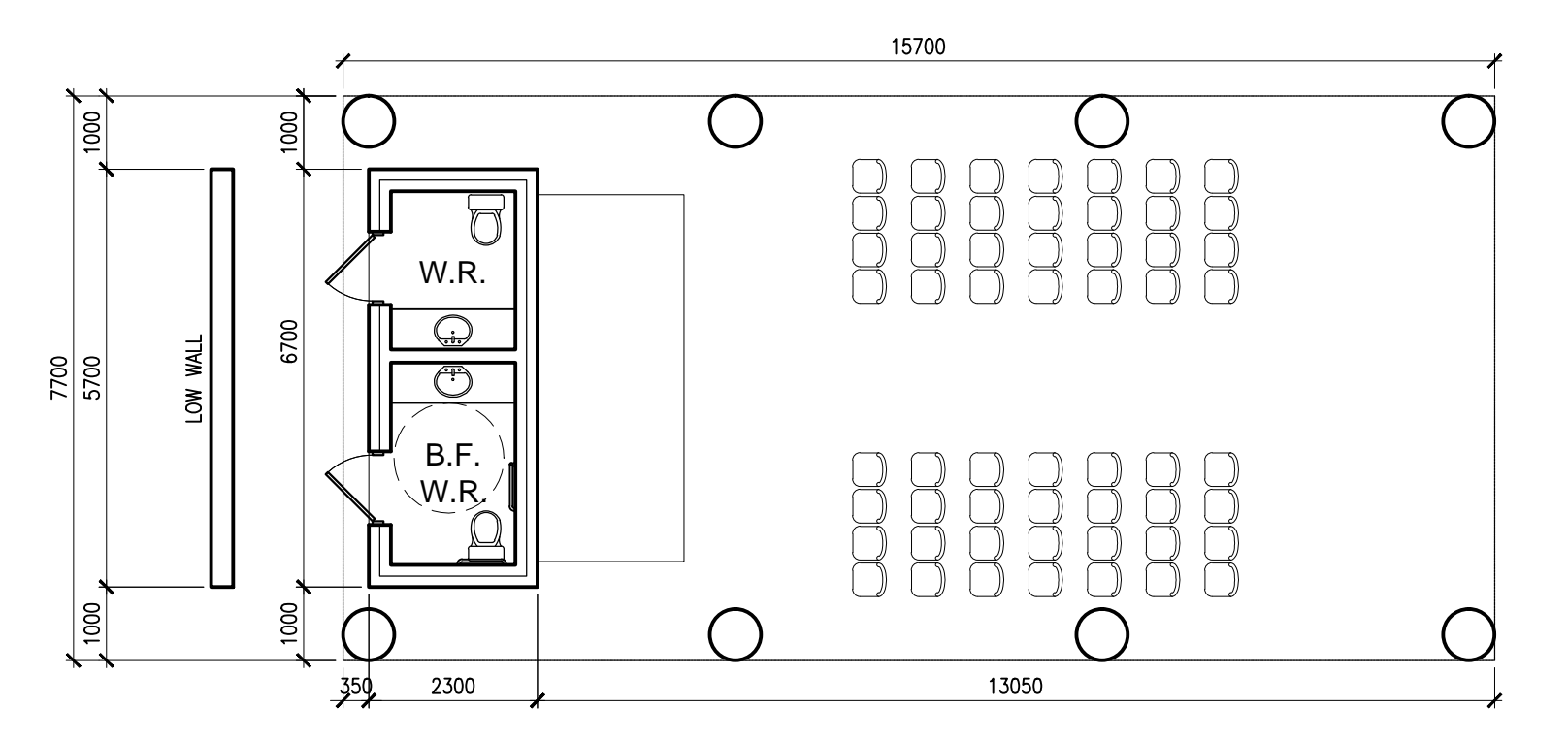
REGENT STREET/PUBLIC FACING



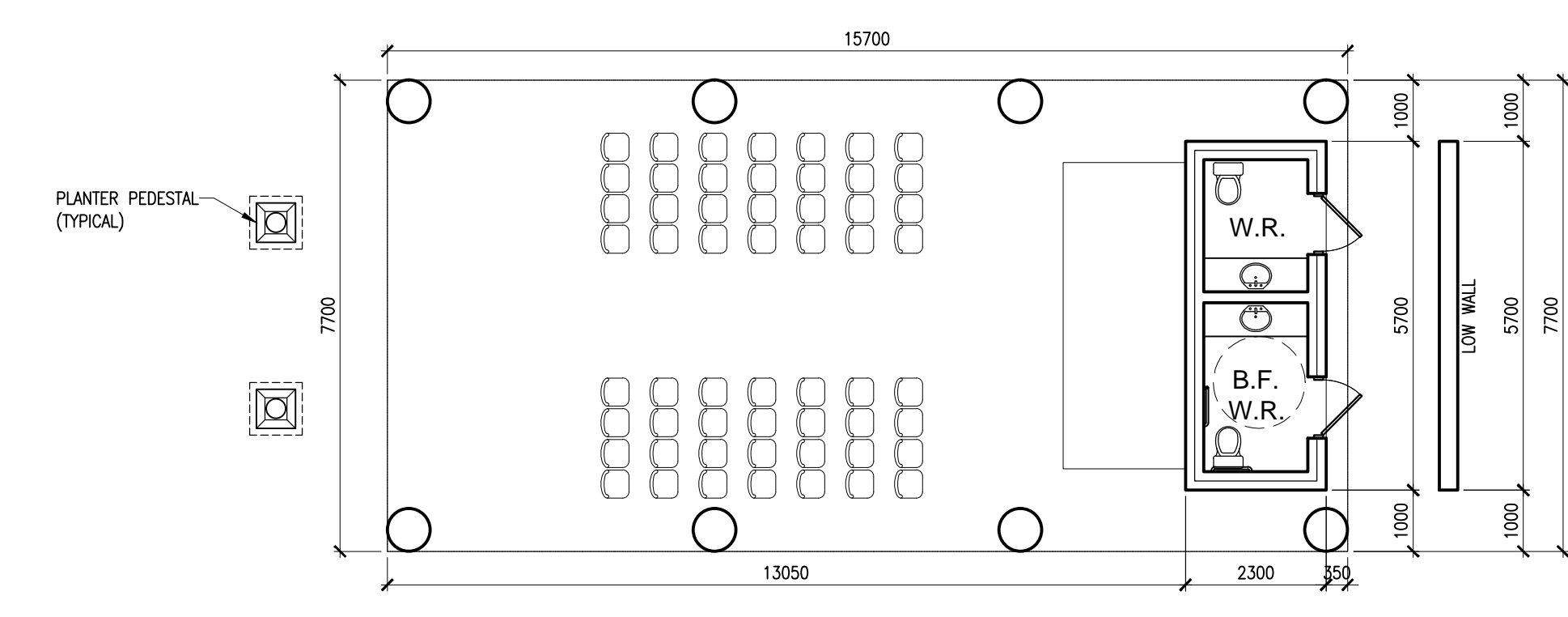
PRIVATE (HOTEL) FACING

NORTH END (SOUTH SIMILAR, REVERSED)

COMMEMORATIVE WALL AT REGENT STREET
SCALE: 1:100



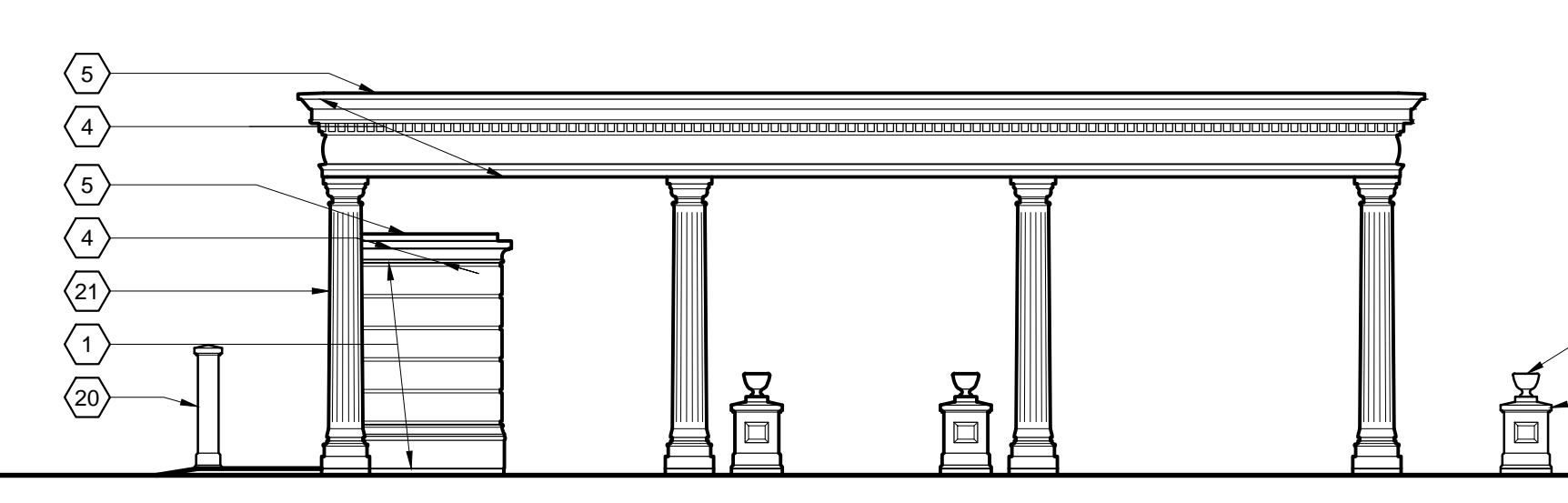
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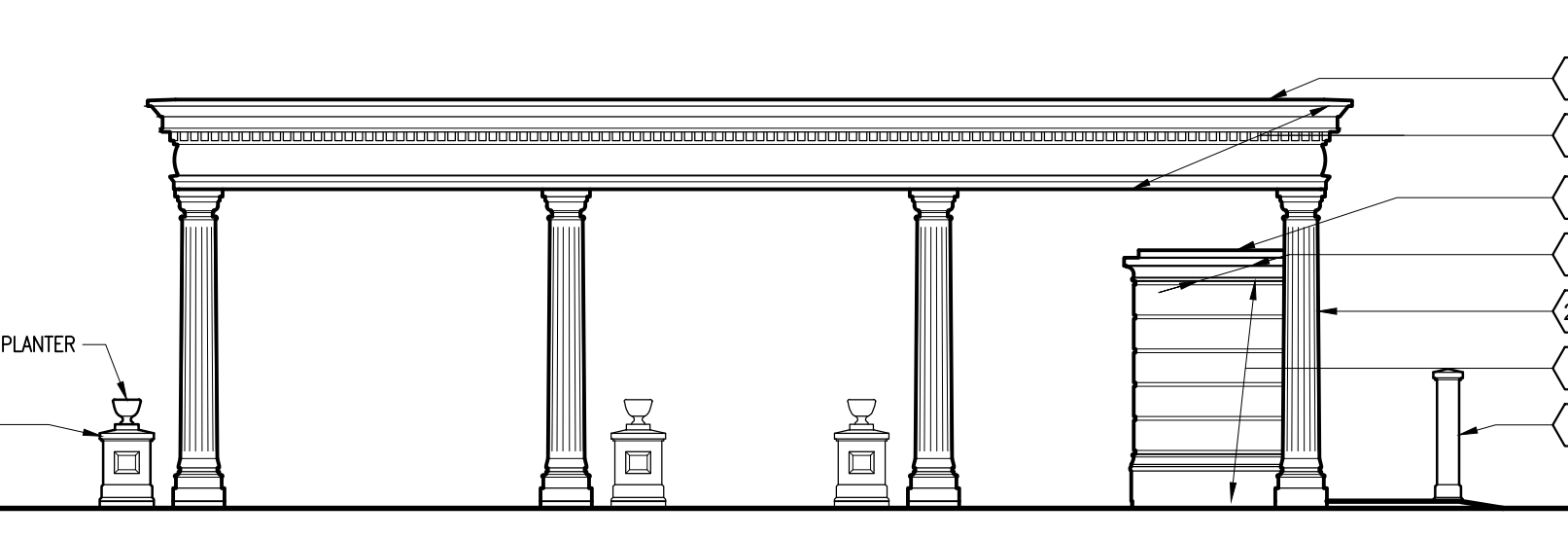
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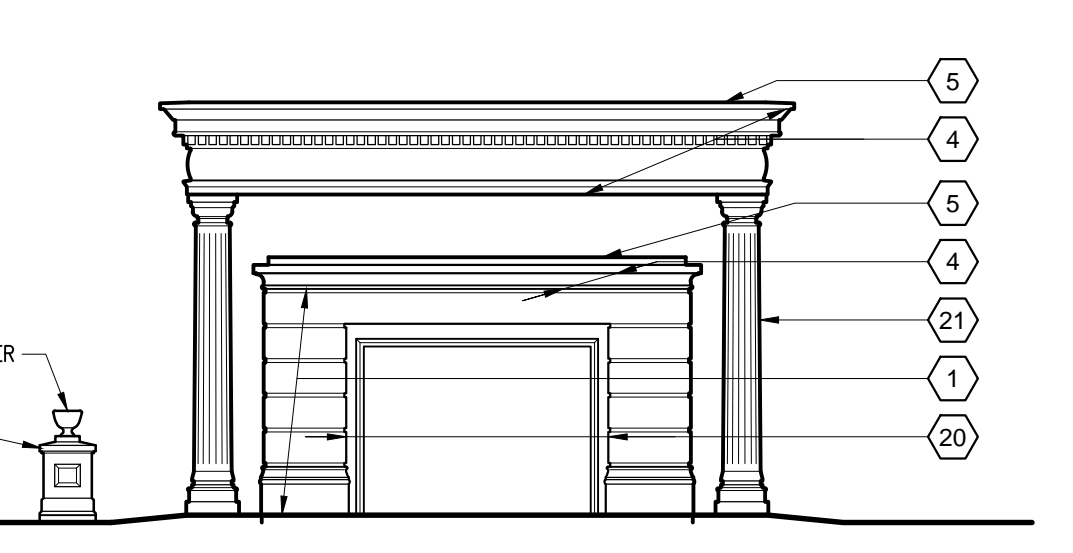
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SCALE: 1:100 (EAST PAVILION - EAST ELEVATION)



WEST PAVILION - SOUTH ELEVATION
SCALE: 1:100 (EAST PAVILION - NORTH ELEVATION)



WEST PAVILION - NORTH ELEVATION
SCALE: 1:100 (EAST PAVILION - SOUTH ELEVATION)



WEST PAVILION - EAST ELEVATION
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ASSOCIATION OF ARCHITECTS

WALLS, FENCES AND PAVILIONS

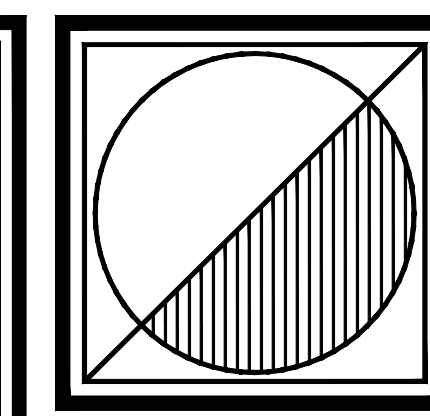
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PARLIAMENT OAK HOTEL
325 King Street
Nagambie-on-the-Lake

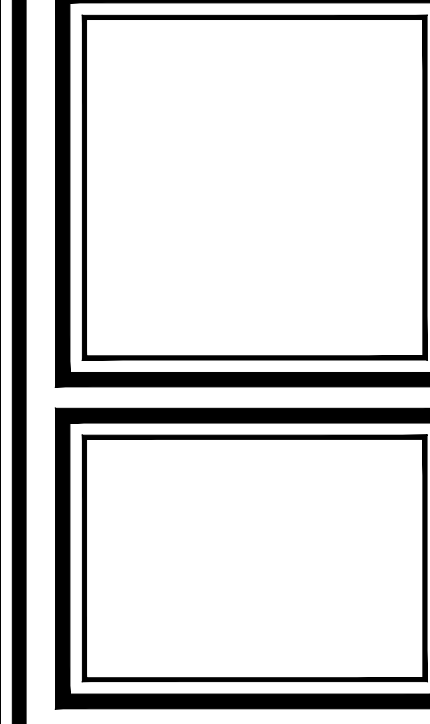
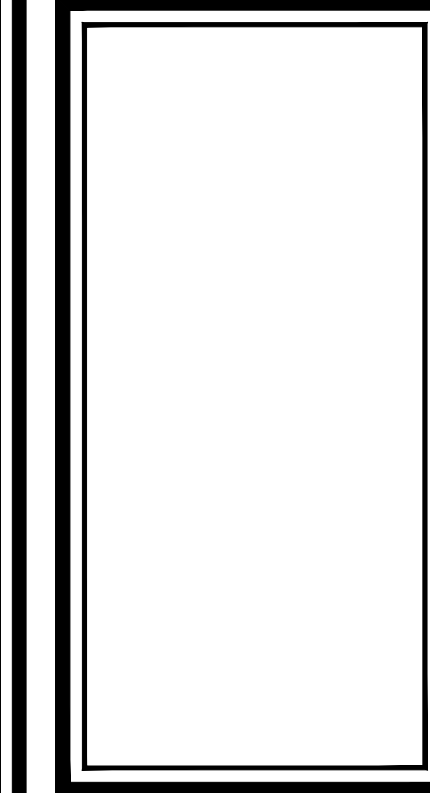
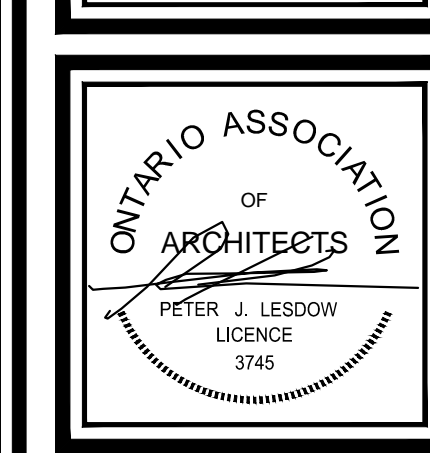
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CHECK BY: P.J.L.

22 - 13

A102



Peter J. Lesdow
architect



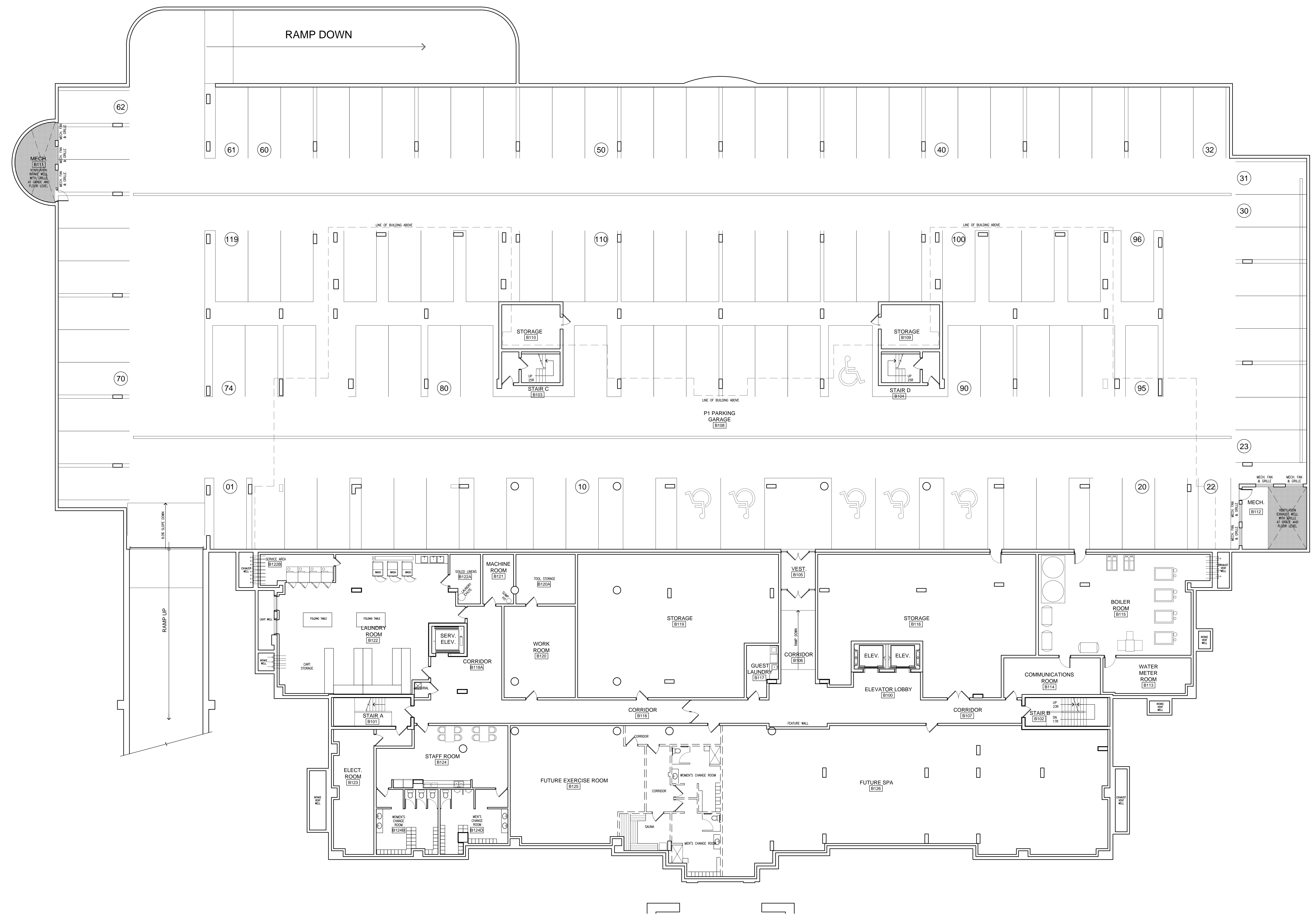
**BASEMENT 1
FLOOR PLAN**

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NOV 21/21	ISSUE FOR PERMIT	NOV 21/21	ISSUE FOR PERMIT
NOV 21/21	ISSUE FOR PERMIT	NOV 21/21	ISSUE FOR PERMIT
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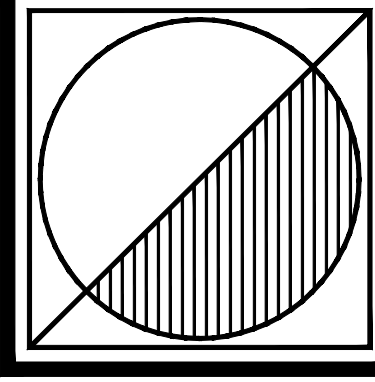
PARLIAMENT OAK HOTEL
325 King Street
Niagara-on-the-Lake

DATE: Nov 18/22
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CHECK BY: R.J.L.

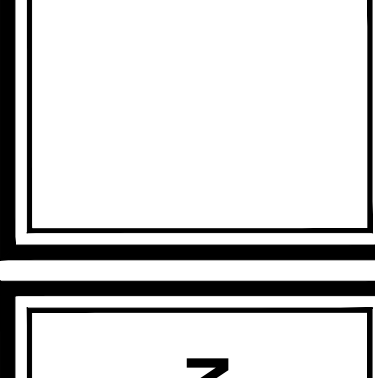
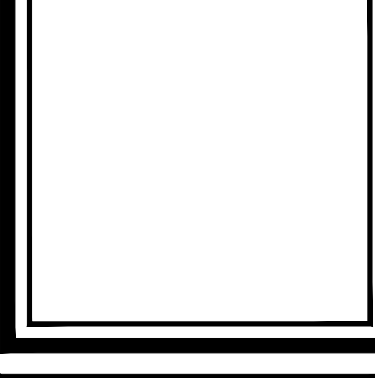
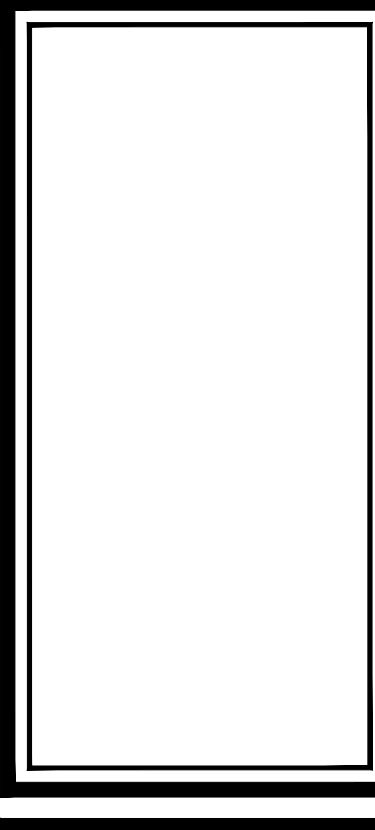
A104



BASEMENT 1 FLOOR PLAN
SCALE: 1:100



Peter J. Lesdow
architect

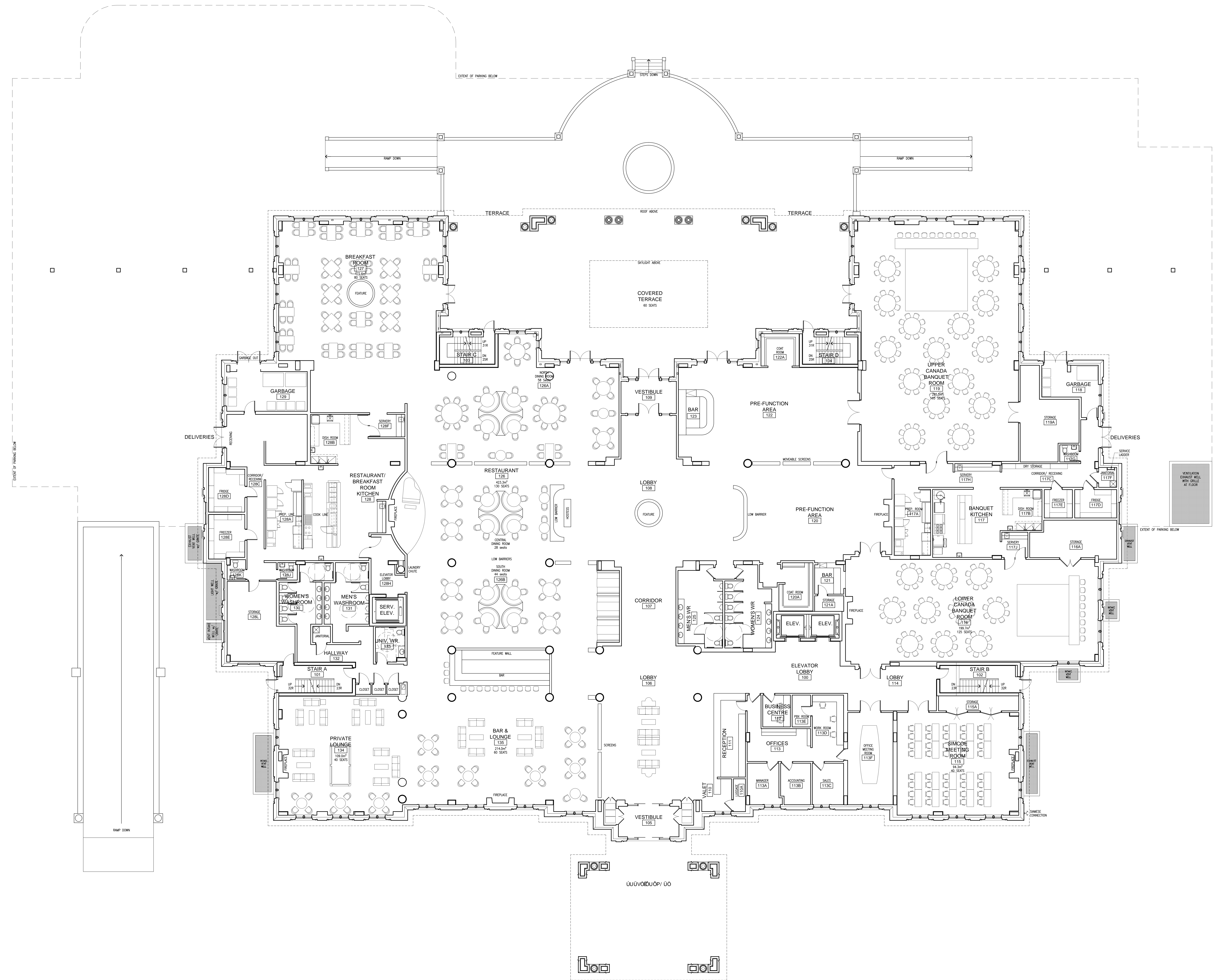


MAIN FLOOR PLAN

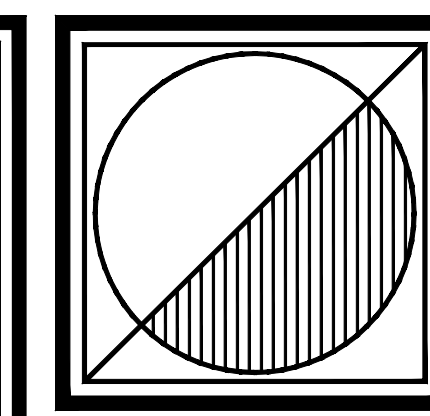
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PARLIAMENT OAK HOTEL
325 King Street
Niagara-on-the-Lake

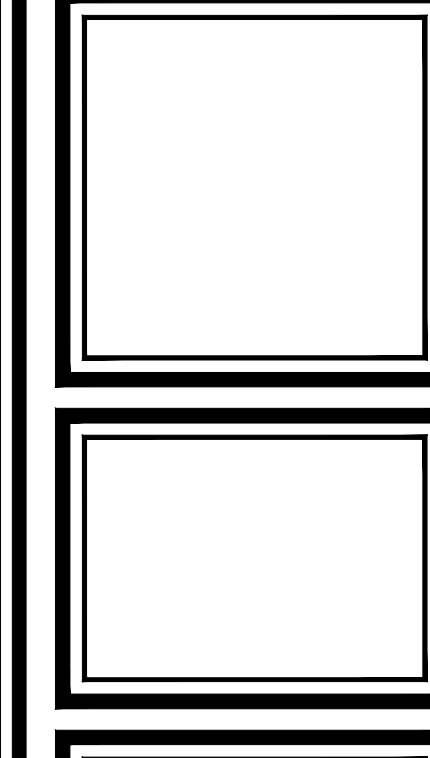
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DRAWN BY: MRW
CHECK BY: R.J.L.



MAIN FLOOR PLAN
SCALE: 1:100



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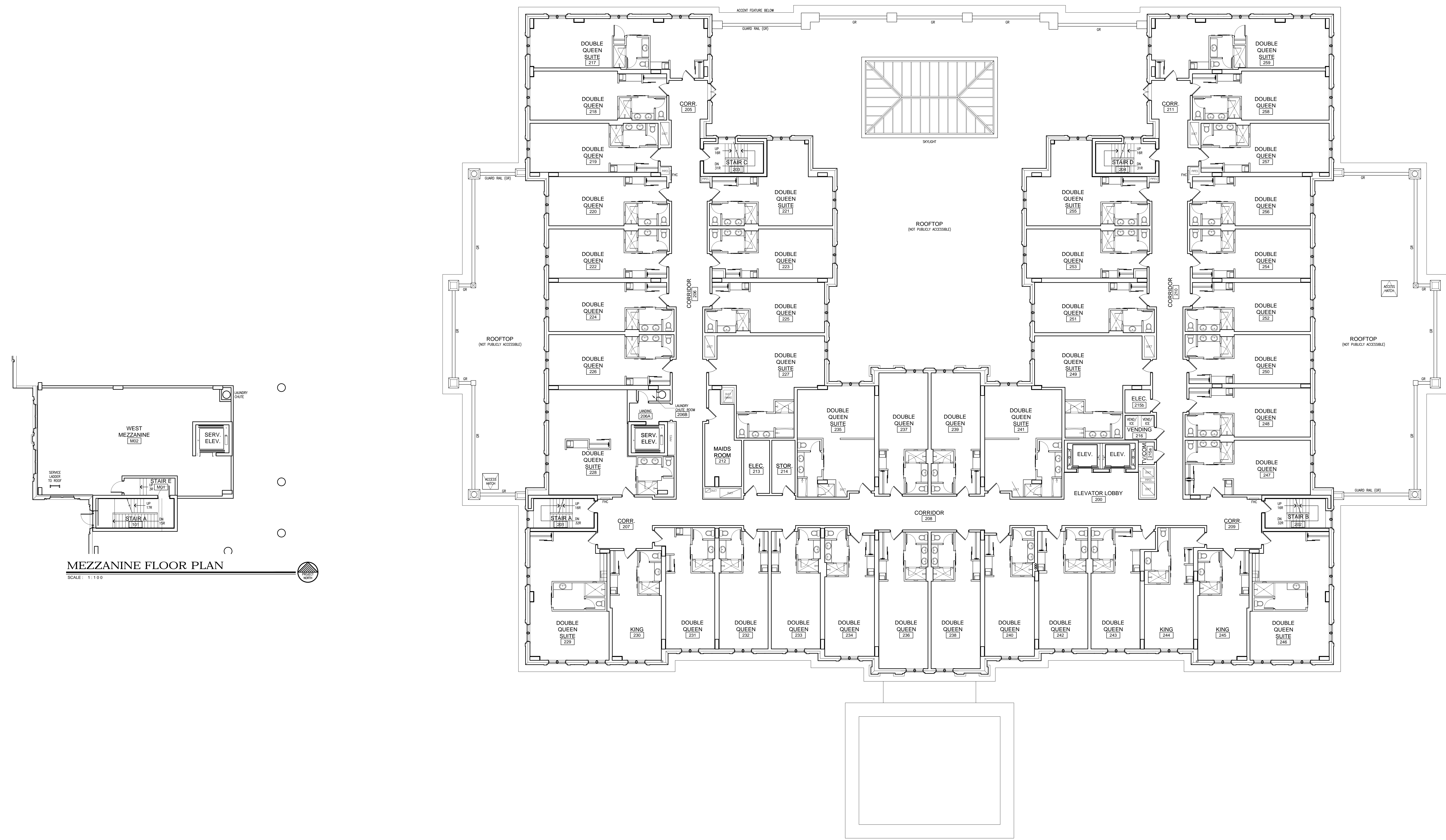


SECOND FLOOR & MEZZANINE PLAN

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PARLIAMENT OAK HOTEL
325 King Street
Niagara-on-the-Lake

DATE: Nov 18/22
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CHECK BY: RJL

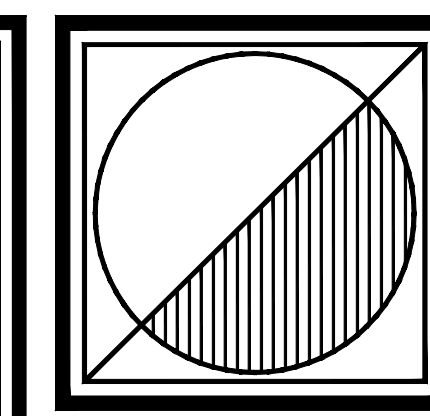
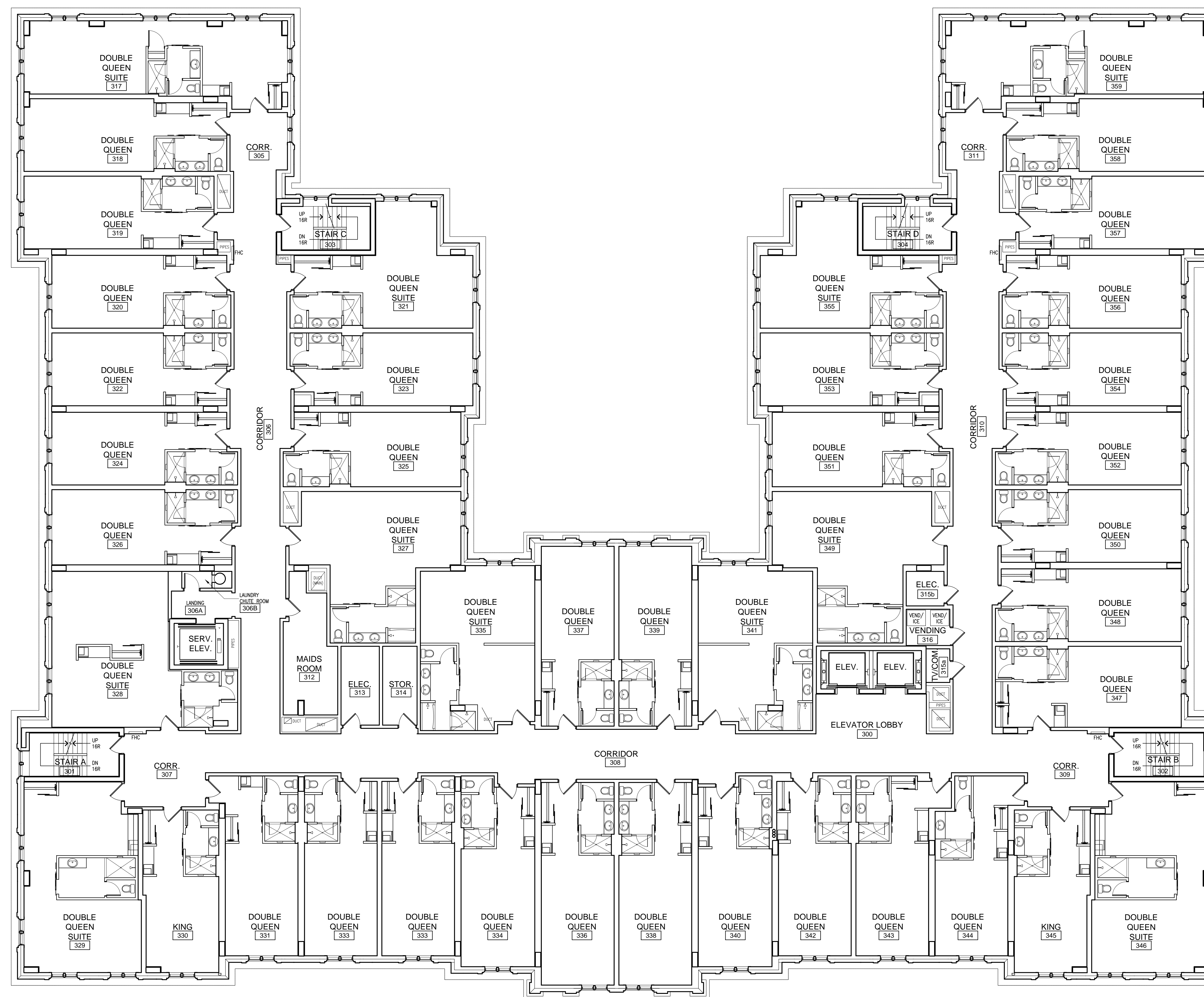


MEZZANINE FLOOR PLAN

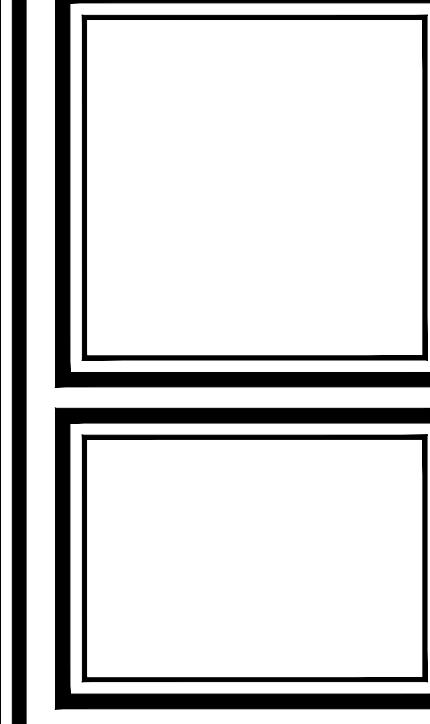
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SECOND FLOOR PLAN

SCALE: 1:100



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architect



THIRD FLOOR PLAN

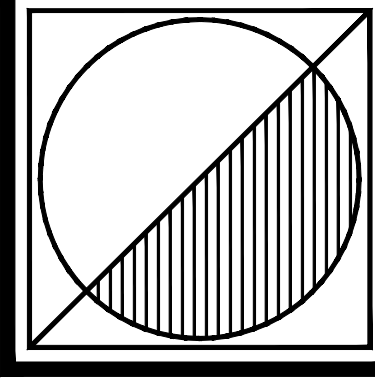
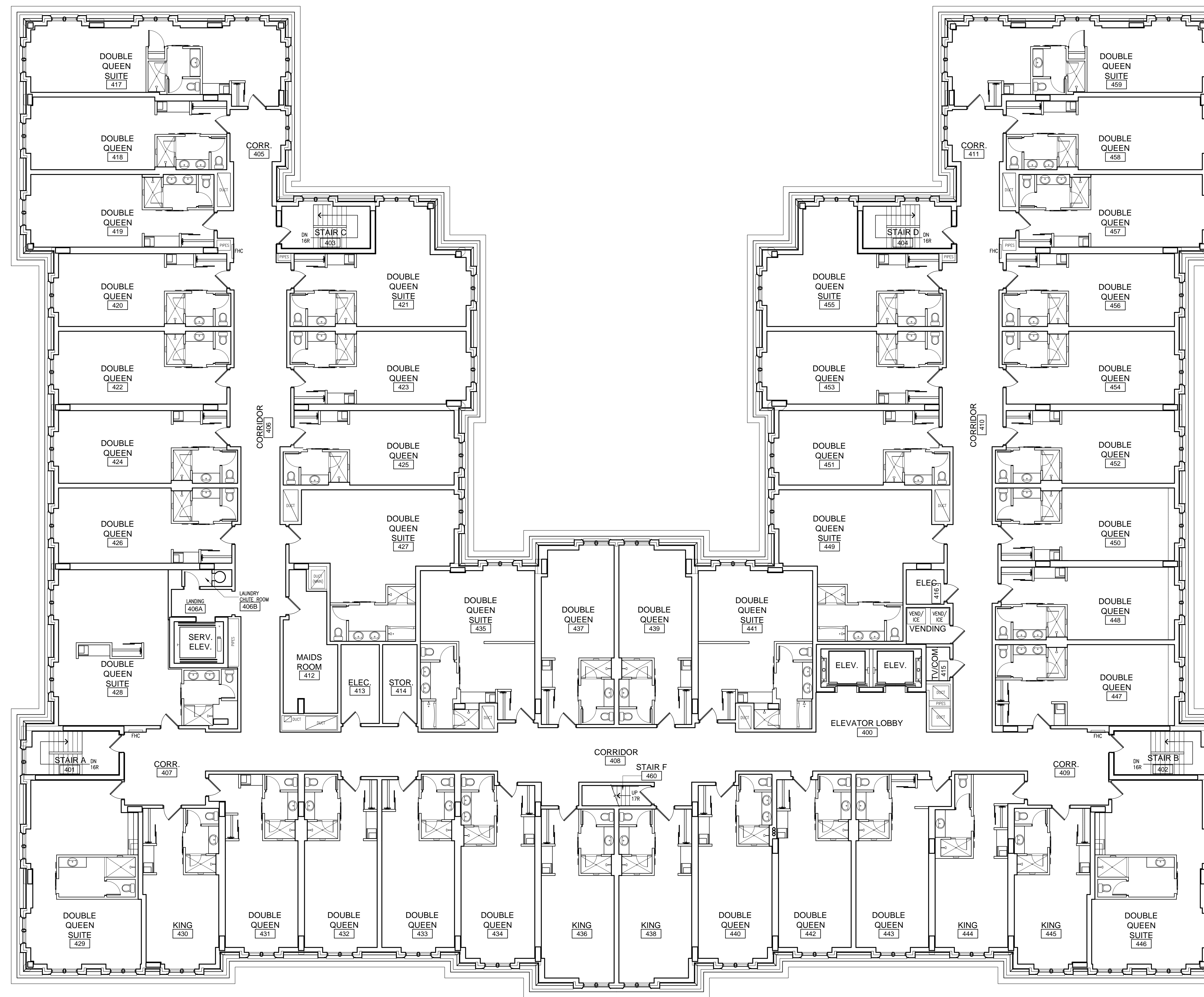
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PARLIAMENT OAK HOTEL
325 King Street
Niagara-on-the-Lake

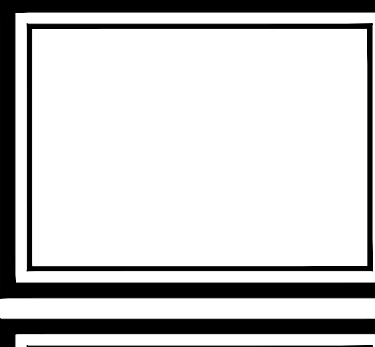
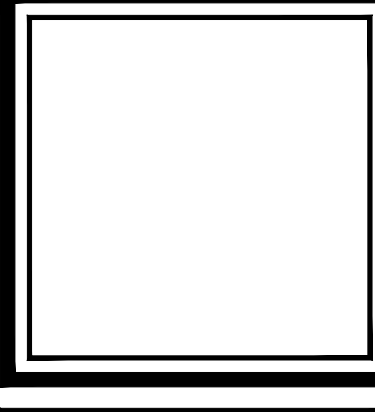
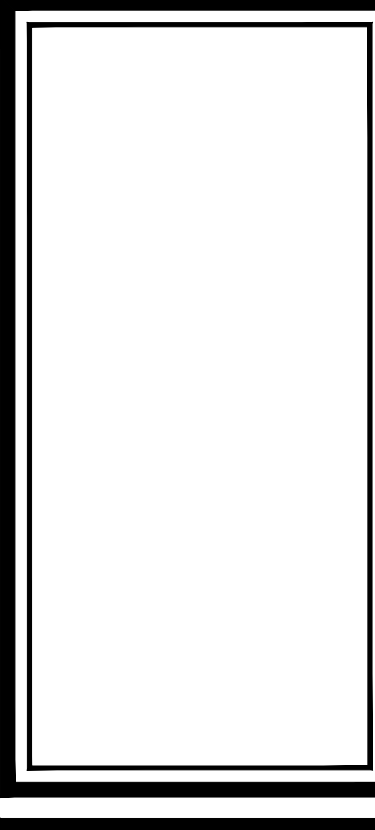
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DRAWN BY: MRW
CHECK BY: R.J.L.

22 - 13

A107



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architect

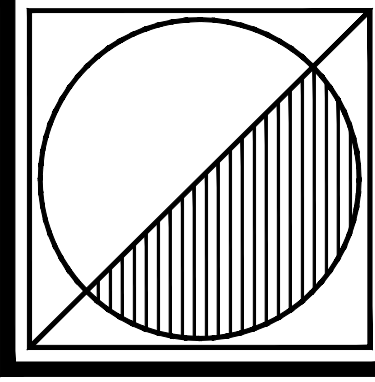


FOURTH FLOOR PLAN

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Nov 17, 21	FOR CONSULTANT COORDINATION	Nov 23, 21	FOR CONSULTANT COORDINATION
Nov 17, 21	FOR PERMIT SUBMISSION	Nov 23, 21	FOR PERMIT SUBMISSION

PARLIAMENT OAK HOTEL
325 King Street
Niagara-on-the-Lake

DATE: Nov 18, 22
SCALE: 1:100
DRAWN BY: MRW
CHECK BY: FJL



Peter J. Lesdow
architect



STATE OF NEW YORK
OFFICE OF ARCHITECTS
PETER J. LESDOW
LICENSE
12345

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PETER J. LESDOW
LICENSE
12345

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OFFICE OF ARCHITECTS
PETER J. LESDOW
LICENSE
12345

DATE	REVISIONS	DATE	REVISIONS
NOV 18/22	ISSUE FOR PERMIT	NOV 18/22	ISSUE FOR PERMIT
AUG 17/22	FOR ALPACIA JUNGHANS	AUG 17/22	FOR ALPACIA JUNGHANS
MAY 27/22	FOR CONSULTANT COORDINATION	MAY 27/22	FOR CONSULTANT COORDINATION
JAN 07/22	FOR PERMIT	JAN 07/22	FOR PERMIT

PARLIAMENT OAK HOTEL
325 King Street
Niagara-on-the-Lake

DATE: Nov 18/22
SCALE: 1:100
DRAWN BY: MRW
CHECK BY: P.JL

22 - 13

A201

- TYPICAL ELEVATION NOTES**
EXTERIOR FINISHES
SEE BELOW FOR COLOR DESCRIPTIONS
1. MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ INTEGRATED BRONZE METALLIC ETC. STONE FINISH
 2. MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ WINDOW OR METAL LOUVER FRAME, LEAF, KEY AND JAMB SURROUNDING INTEGRATING STONE FINISH
 3. DOUBLE FRAME LOW-E WINDOW SYSTEM WITH TINTED GLAZING AND INTEGRATED MULLIONS: OPERABLE OR IMPERMEABLE TO LATER DESIGN
 4. MOULDED PRE-CAST CONCRETE CORNICE w/ DETAIL BRANDING, METALLIC ETC. STONE FINISH
 5. PRE-FINISHED ALUMINUM CAP FLASHING TO DRIP
 6. OUTLINE OF FORWARD OR SECTIONED BUILDING ELEMENTS
 7. AUTOMATIC OPERATING GLAZING DOOR SYSTEM WITH SIDEOLDS AND TRANSOM
 8. MOULDED PRE-CAST CONCRETE PANEL PRESS w/ INTEGRATED BRANDING, METALLIC CAP, ETC. STONE FINISH
 9. MOULDED PRE-CAST CONCRETE BALUSTRADE, SILL AND RAIL, STONE FINISH
 10. MOULDED ACCENT, STONE FINISH
 11. FRENCH BALCONETTE RAILING w/ TEMPERED GLASS BACK PANEL
 12. BETWEEN WINDOW MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCENTS IN STONE FINISH
 13. MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ DOWNED, CORNICE AND ACCENTS IN STONE FINISH, AND PRE-FINISHED BRICK SETTING
 14. MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ LOW WALL AND RAIL, BRANDING, METALLIC ETC. IN STONE FINISH
 15. MOULDED PRE-CAST CONCRETE PANEL SYSTEM CORNERS w/ FINISH, CORNICE, ETC. & ROUND OR PEAKED ROOF IN STONE FINISH
 16. WARDROB & BORNERS w/ PRE-FINISHED STANDING SEAM METAL ROOF SYSTEM
 17. MANUALLY OPERATED WOOD SHING DOOR SYSTEM (WITH SIDEOLDS AND TRANSOM) IN MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCENTS IN STONE FINISH
 18. EMERGENCY EXIT DOOR IN MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCENTS IN STONE FINISH
 19. METAL LOUVER IN MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCENTS IN STONE FINISH
 20. SMOOTH FACE MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCENTS IN STONE FINISH
 21. MOULDED PRE-CAST CONCRETE COLUMN IN STONE FINISH
 22. BRONZE DOORS, MULLIONS AND FRAMES WITH GLAZING IN MOULDED PRE-CAST CONCRETE PANEL WALL SYSTEM w/ ACCENTS IN STONE FINISH
- COLOURS**
1. REFER BACK TO ARCHITECT'S RENDERING FOR COLOURATION.
 2. COLOURS NOTED BELOW ARE CONCEPTUAL - ARCHITECT RESERVES THE RIGHT TO MODIFY BASED ON SUPPLIER AVAILABILITY.
 3. PRECAST CONCRETE PANELS TO BE:
 - 3.1. "STONE" TO BE BROWN SANDSTONE COLOUR
 - 3.2. "BRICK" TO BE BROWN-RED WITH VARIATIONS
 - 3.3. "WARDROB" TO BE SAME COLOUR AS "STONE"
 4. WINDOW FRAMES TO BE WHITE/OFF-WHITE
 5. GLASS TO BE WITH LIGHT GREY TINT
 6. FRENCH BALCONETTE RAILING TO BE BLACK WITH BRASS HIGHLIGHTS TO BE LACK STITCHES
 7. METAL ROOFING & ASSOCIATED FLASHING TO BE SOFT GREY
 8. METAL FLASHING TO MATCH WINDOW MATERIAL
 9. METAL LOUVERES TO BE DARK GREY



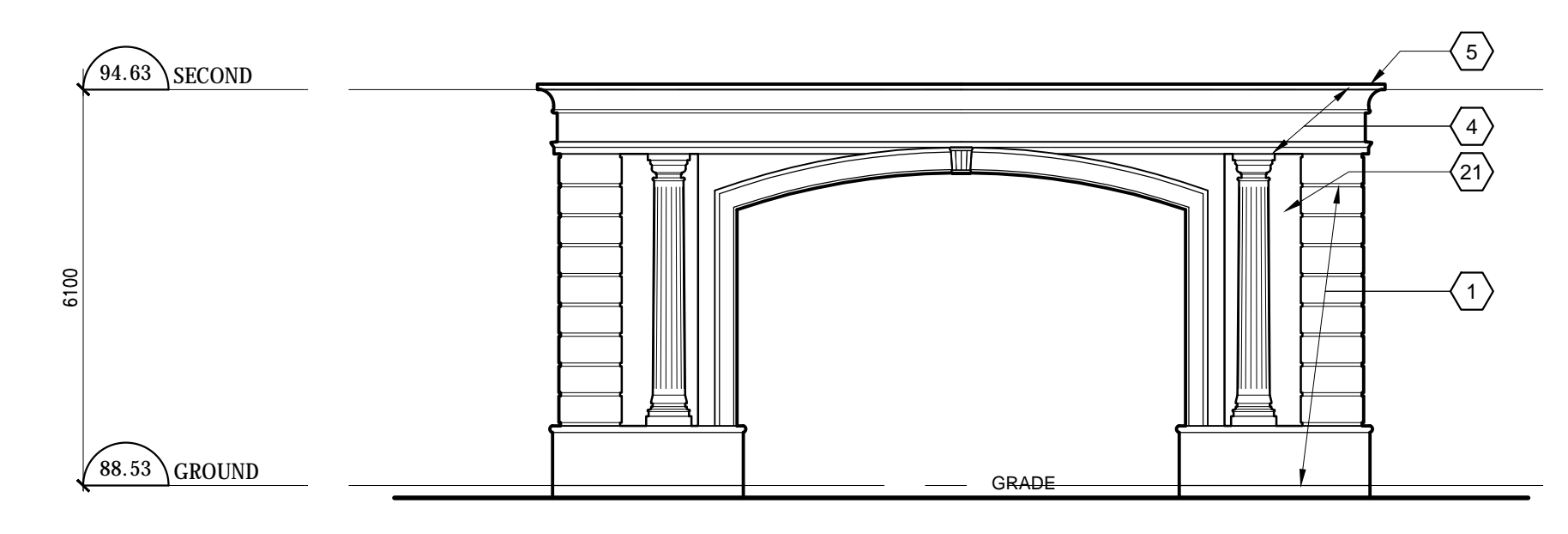
SOUTH ELEVATION
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100



WEST ELEVATION THROUGH TERRACE
SCALE: 1:100



SOUTH PORTE-COCHERE ELEVATION
SCALE: 1:100

Appendix C Design Brief



PETER J. LESDOW
A R C H I T E C T

CHRISTIAN GIANANTE
STANTEC CONSULTING INC.
100-300 HAGEY BOULEVARD
WATERLOO, ON
N2L 0A4

May 04, 2023

**RE: ARCHITECTURAL DESIGN BRIEF RELATING TO THE
DOWNTOWN HERITAGE CHARACTER AREA
PARLIAMENT OAK HOTEL, 325 KING STREET,
NIAGARA-ON-THE-LAKE**

Dear Mr. Giansante,

As per your April 28th email, below you will find the design approach taken for the Parliament Oak Hotel site and the building's architecture with respect to its integration with the surrounding area.

The site is within the Downtown Heritage Character Area as defined in the Town of Niagara-on-the-Lakes Official Plan, and it is understood you would like to incorporate the design approaches used as described in this architectural design brief for your Heritage Impact Assessment. The intent of the letter is to give the reader of your study an understanding of the architectural decisions made, the positive aspects of the buildings site and architectural design, and how the complete design integrates with the heritage character of the area.

This 129-unit hotel is similar in size to the Prince of Wales hotel, which is a short distance away from this site. Supporting amenities to Parliament Oak's hotel function are its 135-seat restaurant, an 80-seat breakfast room, 60 seat bar, 40 seat private lounge, two small banquet rooms and one small meeting room.

The integration of this development with the Downtown Heritage Character Area was the main criteria for the creation of the Parliament Oak Hotel design. Great consideration was given to the buildings compact floor plan and its placement on the site to create landscape opportunities, as well as making efforts to create architecture that is to be in keeping with that found in Niagara-on-the-Lake.

To this end I will first describe the developments site design, then its architecture and its integration with the area as they relate to the Towns Official Plan.

Peter J. Lesdow
A r c h i t e c t

4465 Drummond Road,
Unit 11
Niagara Falls, Ontario
L2E 6C5
905-357-1112
plesdow@cogeco.net



Referring to the Official Plan's Statement of Cultural Heritage Value or Interest. This section provides a general description of Heritage Attributes, Design/ Physical and Contextual elements which make up the Downtown Heritage Character Area.

Those Heritage Attributes which are applicable in this instance can be used as a basis to review how well Parliament Oak's site and architectural design integrates with this Character Area.

SITE DESIGN

An abridged version of part of the Official Plan's Statement of Cultural Heritage Value or Interest is:

"This Character Area" – "For design/ physical significance - contains evidence of all periods of development from the Loyalist occupation to the present." – "Mature trees are a feature of the public realm as well as in private properties. Varied front and side yard setbacks characterize the residential streets." – "Key properties and landscapes provide contextual significance" – "it is also where key cultural, public, institutional, and commercial properties are found."

Parliament Oak Hotel's site design conforms with this description of the character of the area as described below.

With only 129 units and sitting on a four-and-a-half-acre parcel of land, the development has a very low density. The building's lot coverage is only 22% of the site, which is only slightly larger than the existing school's 18% coverage.

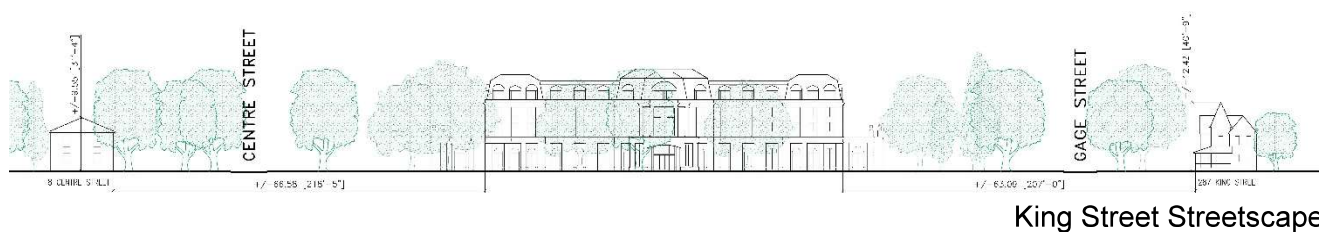
Regarding the proposed landscaping, the large amount of the school's asphalt parking and play areas are to be removed. As a percentage, the hotel development has slightly more landscaping area compared to the existing school.

As described above, the proposed developments building coverage and landscape areas are consistent with what exists on the site.

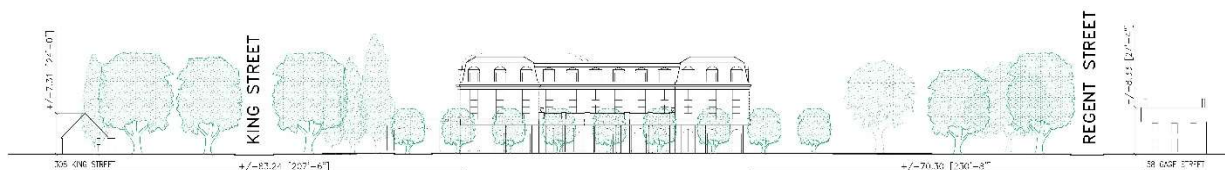
Another major consideration in reducing the projects impact with its surrounding neighbours was the design of its floor plan. Rather than having a linear form typical of hotels, the floor plan was instead arranged into a 'U' shape resulting in nearly 30% of its suites having view into a central courtyard. This approach provided a compact, square floor plan offering virtually the same minimal amount of building mass exposed to the neighbours on each of the surrounding streets. With a nearly central placement of the building on site, it provides large setbacks with associated large, landscaped lawns and gardens all around the building.

These generous setbacks from the surrounding streets create large separations with trees and landscaping between the buildings larger mass and the smaller residences in the vicinity. These large open spaces are in keeping with or exceed many similar open spaces found in the Downtown Heritage Character Area.

Below are streetscape elevations along King Street and Gage Street which are drawn to scale. They clearly show this building's large setbacks from existing residences in the area and show the position and size of existing trees along the streets which are to remain as compared to the proposed and existing buildings.



King Street Streetscape



Gage Street Streetscape

To summarize the above images, the approximate distances between the four storey faces of the proposed hotel to neighbouring residences are: over 65 metres across Centre Street, over 60 metres across Gage Street, over 60 metres across King Street, and over 70 metres across Regent Street.

In the development of the design, it was important that mature trees about the perimeter of the site as well as those trees within the site were retained to maintain the character of the surrounding streets. This was later reinforced by the Arborist Report which requested the building be moved back from an earlier position on the site to maintain an oak tree of historic significance.

To further maintain the character of the area, in the site design both guest and employee parking spaces are found underground, with only eight surface parking spaces exclusively for valet and registration. This was done to maximize opportunities for landscaping across the site. One can appreciate that had this not been considered, the majority of landscaping across the northwest half of the site would be lost to asphalt to provide for the parking required by the development.

ARCHITECTURE

In the Official Plan, two applicable policies with respect to a buildings architecture are:

“Criteria for Assessing New Development” - the Architect should consider – “The proposed building design and its effect on the historic character of abutting properties and the streetscape.”

“Criteria for Individual Buildings” – Architectural character should be considered on the basis of style, plan and sequence of spaces, use of materials and surface treatment and other details including windows, doors, lights, signs and other fixtures of such buildings and the relation of such factors to similar features of the buildings in the immediate surroundings.” - Although the Official Plan statement is a policy for the designation of Heritage Buildings, this policy is appropriate in this instance in that it addresses a buildings architectural character and its relationship to similar buildings in the immediate surroundings.

In addressing these policies, with respect to the buildings architecture integration with the Downtown

Character area, it made sense that a traditional aesthetic like comparable buildings in the area be employed, which would certainly be more in keeping with the Official Plan than a modern approach.

As the hotel needed to be four storeys based on its program and compact floor plate, it was decided a mansard roof would be most appropriate to conceal the fourth floor to reduce the buildings scale. This led us to develop a Second Empire style which is appropriate given the assortment of commercial, residential, and public buildings with a wide range of architecturally contrasting and eclectic styles in the area.

To reinforce this decision, we looked to two very prominent existing buildings to serve as inspiration for design and architectural elements to guide this buildings design.

First is the Prince of Wales Hotel, which is pertinent as its styling is also Second Empire, and includes the following architectural elements:

- Mansard roofs with cornices.
- Ornate dormers
- Narrow vertical window proportions with regular interval placement in their façades
- Brick construction with contrasting
 - masonry details around windows.
 - masonry accent horizontal bands.
 - quoining accents at its outside corners.

Parliament Oak Hotel has all these architectural elements incorporated into its design and is to be located only one block away from the Prince of Wales property.

The second, also a short distance away, is the Old Court House found in the downtown area where like the Parliament Oak Hotel intends to, its construction reflects its public use nature. It is also a prominent pre-1850's building representative of a style of the British Classical tradition with significant architectural merit.

The proposed hotel has some of its classical architectural detailing like the Old Courthouse including:

- Smooth stone finishes.
- Stone entrance portico with classic stone columns.
- Narrow proportioned windows, and in some cases, semi-circular arched stone opening.
- All windows have detailed stone surrounds.
- Stone quoining at its outside corners.
- Stone banding around the building which identify floor levels as well as stone banding at the third-floor windows.
- Large cornices.

The philosophy behind the Parliament Oak Hotel design is to create a hotel with old-world classic charm fitting to Niagara-on-the-Lake. Given the comparisons above to these nearby existing buildings, both are appropriate inspirational sources for the Parliament Oak Hotel, which as described clearly provides similar architectural elements and detailing to each.

What is very interesting is that after we completed the design, we were made aware that the same Second Empire architecture once existed on this site.

Constructed in the mid-1800's and standing until 1913 when it caught fire, Senator Josiah Plumb's stately home would have been an integral part of the areas character and built at approximately the same time as the historically designated houses that remain around the site.

There are many similarities between the former house and the new hotel façades. Most notably are

their mansard roofs with articulated cornices, ornate dormers, vertical windows with regular placement on the façades, masonry quoining at outside corners, as well as accent details at windows.

Counter to this, it has been suggested that this buildings architecture should reflect the buildings abutting this site to be in keeping with the area. It is our position this is not the right approach. Based on the Official Plans Statement of Cultural Heritage Value

Heritage Attributes

- *Design/ Physical*
 - *Mix of uses (residential, commercial, institutional, ecclesiastical)*

When one reviews the character of the area one notes that the architecture of its buildings reflects their individual use. A church, courthouse, hotel, commercial and residential buildings will each have an architectural aesthetic which clearly reflects the buildings prominence or use.

For example, a public building such as a church, courthouse or hotel will have more quality materials such as stone or brick used in their construction. Their architectural detailing is more formal and typically designed by an Architect.

Residential buildings on the other hand may be wood framed buildings with wood siding, and are typically more utilitarian, like those around the site.

It is the combination of different buildings architecture, massing and material which help make up the character of any town. For this reason, a prominent hotel development such as this need not mimic or reflect the architecture of the houses in the area, as this approach would not be consistent with the Downtown Heritage Character of the area.

The Official Plan further states the Downtown Cultural Heritage area is made up of

- *(In pre-1850's buildings) predominance of styles with the British Classical tradition*

And notable existing buildings and structures with their associated architecture are acknowledged in the Official Plan as contributing to the heritage character of the area include:

- *Contextual*
 - *Prince of Wales Hotel (Original and additions)*
 - *Court House (current and historic use)*
 - *Apothecary (conserved building and museum)*
 - *Landmarks (Clock tower)*

As provided in detail above, Parliaments Oak's architectural design was inspired and uses architectural detailing references from both the Prince of Wales Hotel and the Court House.

There are two last points with this development's integration with its neighbours and the area which should be noted.

The first is that the buildings elevations were designed with no distinctive 'back' or rear, where typically higher levels of detailing are not applied. In this buildings case, care was taken that all façades are equally designed, detailed, and each offer maximum landscaped areas to formally address their respective streets and neighbouring properties.

The second is that in consideration of and being sensitive to the smaller residential buildings in the surrounding area, the large mass of the building is visually reduced using the following architectural

devices:

- Undulating surfaces in its façades and articulating smaller block forms at its corners and centre.
- Dividing large façade surfaces with smaller scale elements such as:
 - Stone used across the ground floor.
 - Brick and stone detailing on the second and third floors.
 - Incorporating a mansard roof at the fourth floor.
 - Extensive architectural detailing.

I trust that the description of the design as provided above supports how the proposed Parliament Oak Hotel and its property recognizes and complies with the principals of the Official Plan and Downtown Heritage Character Area and relates its sensitivity to the surrounding neighbours.

Respectfully,

A handwritten signature in black ink, appearing to read 'Peter J. Lesdow', with a horizontal line underneath.

Peter J. Lesdow

B.A., B.Arch., O.A.A., M.R.A.I.C., N.C.A.R.B.

Appendix D Heritage Easement Agreement



HERITAGE EASEMENT AGREEMENT

BETWEEN:

TWO SISTERS RESORTS

CORP.
the "Owner")

(hereinafter referred to as

and

THE CORPORATION OF THE TOWN OF

NIAGARA-ON-THE-LAKE

(hereinafter referred to as

the "Town")

WHEREAS:

Two Sisters Resorts Corp. is the registered owner of the lands and premises municipally known as 325 King Street, Niagara-on-the-Lake which is legally described as PIN 46399-0361(LT) Lots 149, 150, 191, 192 TP Plan 86 Niagara, Part 1 30R-15804 (the "Property");

In accordance with Section 37(1) of the *Ontario Heritage Act*, R.S.O. 1990, c.O.18 the Town is entitled to enter into agreements, covenants and easements with owners of real property for the conservation, protection and preservation of heritage in Ontario;

Sections 37(2) and 37(3) of the *Ontario Heritage Act* provide that such covenants and easements entered into by the Town, when registered in the Land Registry Office against the real property affected by them, shall run with the real property and may, whether positive or negative in nature, be enforced by the Town or its assignee against the owner or any subsequent owners of the real property even where the Town owns no other land which would be accommodated or benefited by such covenants and easements;

The Owner and the Town desire to conserve certain heritage resources at the Property as set out in this Agreement and the Schedules thereto;

The Owner is entering into this Agreement voluntarily and in good faith to ensure the preservation and protection of the heritage resources identified herein;

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the sum of ONE DOLLAR (\$1.00) of the lawful money of Canada now paid by the Town to the Owner (the receipt and sufficiency of which is hereby acknowledged) and in further consideration of the mutual covenants and restrictions hereinafter set forth, the Owner and the Town mutually agree to abide by the following covenants, easements and restrictions which shall run with the Property in accordance with the terms set out herein.

RECITALS AND SCHEDULES

1.1 The recitals are true and accurate.

1.2 The Schedule forms part of this Agreement.

1.3 This Agreement shall be binding upon the Property until such time as the Site Plan Agreement for the development of the Property is registered on title, at which time this Agreement shall be released by the Town and the easement removed from title.

ITEMS OF HERITAGE VALUE OR INTEREST

2.1 The Owner and the Town agree that the approach to heritage conservation and items of heritage value or interest at the Property which are to be conserved and used for commemoration on the Property have been identified through the Heritage Impact Assessment prepared by Stantec dated June 23, 2023 (the "HIA") and within the Commemoration Plan prepared by Stantec dated June 23, 2023 (the "Commemoration Plan") (collectively referred to as the "Stantec Reports") and through the development review process for the Property.

- 2.2 The items of heritage value or interest on the Property which are to be salvaged and conserved are set out in Schedule "A" to this Agreement.
- 2.3 The Owner and the Town acknowledge and agree that the Commemoration Plan will be subject to further review as part of the Site Plan approval process for the Property, which may result in changes to the Commemoration Plan.
- 2.4 The Owner agrees to implement the proposed commemorative approaches for the items of heritage value or interest identified in the Stantec Reports in Schedule "A", subject to any amendments which may be agreed to by the Town and the Owner during the Site Plan approval process acting cooperatively and in good faith, as part of the implementation of the Site Plan for the Property..
- 2.5 The Owner agrees that that any of the items of heritage value or interest as set out in Schedule "A" that are not reused within any new development will be donated to the Town.

USE OF PROPERTY

- 3.1 The Owner expressly reserves for themselves, their representatives, administrators, successors and assigns the right to continue to use the Property for all purposes not inconsistent with this Agreement and in accordance with the approved zoning.
- 3.2 The Town acknowledges that the Owner may remove the items of heritage value or interest from the Property identified in Schedule "A" and safely store them off-site, and advise the Town of the location off-site, or may store them on site and away from construction activities, until such time as the Commemoration Plan is implemented as part of the Site Plan Agreement.
- 3.3 The Town further acknowledges that a demolition permit will be released on October 1, 2023 and that the Owner intends to demolish the former school building on the Property once the items of heritage value have been removed or provision has been made for their preservation *in-situ*.

CONSERVATION PRINCIPLES

- 4.1 It is the purpose of this Agreement to ensure that the items of heritage value or interest at the Property as identified in Schedule "A" will be conserved in perpetuity as part of the heritage conservation objectives of the Town. To achieve this purpose the Owner agrees with the Town that these items shall be retained and conserved by the Owner and safely stored in accordance with the recommendations within the Documentation and Salvage report prepared by Stantec (dated August 2, 2023), as well as recognized heritage conservation principles and practices so that no change shall be made to these items which will adversely affect the heritage value or interest thereof.
- 4.2 The Owner agrees that in carrying out its responsibilities under this Agreement that it shall, where applicable, be guided by and apply recognized heritage conservation principles, practices and legislation.
- 4.3 The Town shall be entitled to inspect the items of heritage value or interest at the location where they are stored by the Owner upon provision of 72 hours prior written notice to the Owner or its legal representative. Where the Town, acting reasonably, determines that these items have been damaged in storage or are at risk of damage, the Town shall provide written notice to the Owner outlining the areas of concern and the Owner shall take all necessary steps to remedy the damage or to prevent it from occurring.
- 4.4 The Owner shall notify the Town within five (5) days of any damage to the items of heritage value or interest being discovered and the Owner agrees to repair any damaged items in accordance with plans approved by the Town. The Owner agrees that it shall within thirty days of the damage being discovered submit a plan to the Town setting out the proposed repairs for the approval of the Director of Community and Development Services.

NOTICE

- 5.1 Notices to the Parties shall be delivered by mail or by email to the addresses set out below:

The Corporation of the Town of Niagara-on-the-Lake
1593 Four Mile Creek Road

PO Box 100,
Virgil, ON L0S

Attention: Director of Community and Development Services

Email: kirsten.mccauley@notl.com

Two Sisters Resorts Corp.

122 Romina Drive

Concord ON L3K 4Z7

Attention: Giuseppe Paolicelli

Email: giuseppe@solmar.ca

5.2 The Town and the Owner agree to notify the other immediately, in writing, of any changes to the addresses or email addresses set out above.

IN WITNESS WHEREOF the parties hereto have executed this Agreement this 5th day of October 2023.

Corp.

Two Sisters Resorts

Per:

Giuseppe Paolicelli - I have authority to bind the Corporation.

The Corporation of the Town of

Niagara-on-the-Lake

Per:

Kirsten McCauley – Director of
Community and Development Services
I have authority to bind the Town.

SCHEDULE "A"

Items of heritage value or interest to be salvaged and conserved:

1. Two bas-relief panels by John B. Shawe (from 1948 school building)
2. Stone incised oak tree panel (from 1976 school addition)
3. Parliament Oak School sign (from 1948 school building)
4. Some Buff Bricks (from 1948 school building)
5. 'Parliament Oak' stone tree marker
6. Castellani Sculpture
7. 1948 Time Capsule and 1947 Cornerstone
8. Town Boundary Stone #13
9. Mature red oak #28

Note: The Reference Numbers in items 8 and 9 and the items listed above are as identified in the Heritage Impact Assessment prepared by Stantec dated June 23, 2023.